

NOTICE OF MEETING

PLANNING SUB COMMITTEE

Monday, 8th March, 2021, 7.00 pm - MS Teams (watch it [here](#))

Members: Councillors Sarah Williams (Chair), Gina Adamou (Vice-Chair), Dhiren Basu, John Bevan, Luke Cawley-Harrison, Justin Hinchcliffe, Peter Mitchell, Sheila Peacock, Reg Rice, Viv Ross and Yvonne Say

Quorum: 3

1. FILMING AT MEETINGS

Please note this meeting may be filmed or recorded by the Council for live or subsequent broadcast via the Council's internet site or by anyone attending the meeting using any communication method. Although we ask members of the public recording, filming or reporting on the meeting not to include the public seating areas, members of the public attending the meeting should be aware that we cannot guarantee that they will not be filmed or recorded by others attending the meeting. Members of the public participating in the meeting (e.g. making deputations, asking questions, making oral protests) should be aware that they are likely to be filmed, recorded or reported on. By entering the meeting room and using the public seating area, you are consenting to being filmed and to the possible use of those images and sound recordings.

The Chair of the meeting has the discretion to terminate or suspend filming or recording, if in his or her opinion continuation of the filming, recording or reporting would disrupt or prejudice the proceedings, infringe the rights of any individual, or may lead to the breach of a legal obligation by the Council.

2. PLANNING PROTOCOL

The Planning Committee abides by the Council's Planning Protocol 2017. A factsheet covering some of the key points within the protocol as well as some of the context for Haringey's planning process is provided alongside the agenda pack available to the public at each meeting as well as on the Haringey Planning Committee webpage.

The planning system manages the use and development of land and buildings. The overall aim of the system is to ensure a balance between enabling development to take place and conserving and protecting the environment and local amenities. Planning can also help tackle climate change and overall seeks to create better public places for people to live, work and play. It is important that the public understand that the committee makes planning decisions in this context. These decisions are rarely simple and often involve balancing competing priorities. Councillors and officers

have a duty to ensure that the public are consulted, involved and where possible, understand the decisions being made.

Neither the number of objectors or supporters nor the extent of their opposition or support are of themselves material planning considerations.

The Planning Committee is held as a meeting in public and not a public meeting. The right to speak from the floor is agreed beforehand in consultation with officers and the Chair. Any interruptions from the public may mean that the Chamber needs to be cleared.

3. APOLOGIES

4. URGENT BUSINESS

The Chair will consider the admission of any late items of urgent business. Late items will be considered under the agenda item where they appear. New items will be dealt with at item 11 below.

5. DECLARATIONS OF INTEREST

A member with a disclosable pecuniary interest or a prejudicial interest in a matter who attends a meeting of the authority at which the matter is considered:

- (i) must disclose the interest at the start of the meeting or when the interest becomes apparent, and
- (ii) may not participate in any discussion or vote on the matter and must withdraw from the meeting room.

A member who discloses at a meeting a disclosable pecuniary interest which is not registered in the Register of Members' Interests or the subject of a pending notification must notify the Monitoring Officer of the interest within 28 days of the disclosure.

Disclosable pecuniary interests, personal interests and prejudicial interests are defined at Paragraphs 5-7 and Appendix A of the Members' Code of Conduct

6. MINUTES

To confirm and sign the minutes of the Planning Sub Committee held on 8 February 2021 (**to follow**).

7. PLANNING APPLICATIONS

In accordance with the Sub Committee's protocol for hearing representations; when the recommendation is to grant planning permission, two objectors may be given up to 6 minutes (divided between them) to make representations. Where the recommendation is to refuse planning permission, the applicant

and supporters will be allowed to address the Committee. For items considered previously by the Committee and deferred, where the recommendation is to grant permission, one objector may be given up to 3 minutes to make representations.

8. HGY/2020/2794 - LAND TO THE NORTH OF ERMINE ROAD N15 (PAGES 1 - 148)

Proposal: Temporary planning permission for a period of 7 years to provide 33 modular units for use as accommodation for people who have been street homeless, with associated cycle and refuse storage.

Recommendation: GRANT

9. UPDATE ON MAJOR PROPOSALS (PAGES 149 - 162)

To advise of major proposals in the pipeline including those awaiting the issue of the decision notice following a committee resolution and subsequent signature of the section 106 agreement; applications submitted and awaiting determination; and proposals being discussed at the pre-application stage.

10. APPLICATIONS DETERMINED UNDER DELEGATED POWERS (PAGES 163 - 198)

To advise the Planning Committee of decisions on planning applications taken under delegated powers for the period 24.01.21-19.02.21.

11. NEW ITEMS OF URGENT BUSINESS

To consider any items admitted at item 4 above.

12. DATE OF NEXT MEETING

19 April 2021

Felicity Foley, Committees Manager
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John Jones
Monitoring Officer (Interim)
River Park House, 225 High Road, Wood Green, N22 8HQ

Friday, 26 February 2021

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Planning Sub Committee

Item No.

REPORT FOR CONSIDERATION AT PLANNING SUB-COMMITTEE

1. APPLICATION DETAILS

Reference No: HGY/2020/2794

Ward: Seven Sisters

Address: Land to the North of Ermine Road N15

Proposal: Temporary planning permission for a period of 7 years to provide 33 modular units for use as accommodation for people who have been street homeless, with associated cycle and refuse storage.

Applicant: Hill Residential

Ownership: Council

Case Officer Contact: Philip Elliott

Site Visit Date: N/A

Date received: 06/11/2020 **Last amended date:** 11/02/2021.

- 1.1 This application was initially reported to Planning Sub-Committee on 11 January 2021 due to it being a major application on Council owned land, and significant material planning objections were received during the first consultation process.
- 1.2 The application was deferred at the Planning Sub-Committee meeting on the 11 January 2021 and then again on the 8 February 2021. This was to seek amendments for the removal of Block A.
- 1.3 Further amendments were received on 11 February 2021 under the current scheme. These are summarised as:

- The removal of the upper storey to Block A and its associated staircase and access platform (earlier changes to the colour of the units have also been retained).

The previous changes to the colour of the units for the February scheme (which introduced grey elevations with orange front doors) have been retained.

- 1.4 Interested parties were notified of the amendments on 16 February 2021. All responses to all three rounds of consultation remain relevant and are material considerations (see 8th February Committee appended at Appendix 3).

1.5. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- There is a significant need for accommodation for rough sleepers in Haringey, and this proposal provides 32 units of temporary accommodation specifically designed to meet the needs of people who have experienced homelessness. It would improve the life expectancy of residents and reduce the financial costs of temporary accommodation to the Council.
- The proposal would provide much needed temporary accommodation for 32 Haringey residents that have experienced homelessness;
- The modular construction enables the proposed homes to be built quickly so that interventions can be made as soon as possible to help those in need;
- The proposal would make a positive contribution to Ermine Road, improving the character of this vacant site.
- The proposed development would preserve the setting of the nearby Seven Sisters/Page Green Conservation Area and would have an acceptable appearance from within the Conservation Area and the locally listed Dutch House.
- There would be no material impact on parking in the area.
- Impacts on nearby properties would be suitably mitigated, particularly given the revisions which further reduce overlooking and safeguard privacy.

2. RECOMMENDATION

- 2.1 That the Committee resolve to GRANT planning permission and that the Head of Development Management or Assistant Director is authorised to issue the planning permission and impose conditions and informatives.

Conditions (the full text of recommended conditions is contained in Appendix 1)

Presumption in Favour of Sustainable Development

- In the event that members choose to make a decision contrary to the officer recommendation (that the proposed development accords with the development plan overall), it will be necessary to consider the presumption in favour of sustainable development in the NPPF. This is because the Council's delivery of housing over the last three years is substantially below its housing target and so paragraph 11(d) of the NPPF is engaged by virtue of footnote 7 of the NPPF. Members must state their reasons including why it is considered that the presumption is not engaged.

CONTENTS

- 3) KEY AMENDMENTS SINCE DEFERRAL
- 4) FURTHER CONSULTATION & RESPONSES
- 5) LOCAL REPRESENTATIONS
- 6) ASSESSMENT OF THE AMENDMENTS
- 7) RECOMMENDATION

APPENDICES:

Appendix 1	Planning Conditions and Informatives
Appendix 2	Plans and Images
Appendix 3	Committee Report for 08 February 2021 and Addendum to Report for Committee 08 February 2021

3.0 KEY AMENDMENTS SINCE DEFERRAL

3.1 Amendments:

3.1.1. At the meeting on 08 February 2021 the applicant was asked to remove Block A by members of the Committee.

3.1.2. In response to this the applicant has submitted revised drawings that show:

- **The omission of the upper storey and the associated staircase and access platform to Block A.**

4. CONSULTATION & RESPONSES

4.1. **Application Consultation** (all previous responses remain relevant and this report should be read alongside the earlier reports in Appendix 3, which set-out responses to the original consultation)

4.1.1. The following were consulted on the amended application:

Internal:

1) Design

- *Having the front doors and living room windows of Block A facing the street is considered to be best urban design practice. Front doors and ground level windows from habitable rooms provide animation and passive surveillance to the street; such streets have been shown to suffer less crime and anti-social behaviour, even more so where doors and windows are on both sides of the street.*
- *If Block A turned its back on the street, the development as a whole would be an inward looking community - wholly gated and facing in on itself, turning its back to the outside world.*
- *Turning Block A would also be a waste of the land behind the block and would add to maintenance requirements.*
- *The space between the front doors of Block A and the street will instead act as a front garden for those flats, with a relatively low fence and a gate. The office that takes the end, 5th unit of Block A will also be entered here and be open to the street, adding to animation and street life and being more visible than before.*

- *Following discussions with the Metropolitan Police on Secured by Design measures, the applicants have now proposed a fence (1.5m high) in steel, with one gate for all four flats, although it is understood this is not to be lockable.*
- *Better urban design practice would be for each flat to have a smaller front garden, with their own individual gate, off a footpath (and possibly some soft landscaping) within the public domain. It is understood a lower fence (1.1m high) and softer materials such as timber would still be acceptable to the Police, it is hoped that public landscaping and means of enclosure could be secured by condition so that improvements in this area could be made before completion.*
- *The overall design assessment and all other aspects of the design analysis remain unchanged, that it is a positive proposal, of innovative construction but gentle density and appearance compatible with its varied context, secure, well defined boundaries, bringing clarity of layout and animation to the street and set in good landscaping.*

External:

2) Environment Agency (EA)

- *No objection subject to a condition (13) and informative (18) which would safeguard a watercourse should one be located during construction of the development.*

3) London Fire Brigade (LFB)

- *No further comments received at time of drafting report. Responses will be reported via an Addendum Report on 8 March 2021.*

4) Designing Out Crime Officer - Metropolitan Police Service

- *No comments received at time of drafting report. Responses will be reported via an Addendum Report on 8 March 2021.*

5. LOCAL REPRESENTATIONS

5.1 The following were consulted on the amendments:

- All residents/Councillors that commented on the January scheme [67] and the February scheme [175] were notified of the amended plans.

*It is noted that several commentators did not provide an email address or a full postal address when submitting their representations. The Council has contacted as many people as possible given the information available.

5.2 The number of representations received from neighbours, Councillors, local groups etc in response to notification and publicity of the application were as follows:

- Number of individual responses to date:

- 150 separate instances of support have been received.
- 157 separate instances of objection have been received.
- The above figure for objections includes 59 individuals who signed a petition objecting to the proposal. 14 of those individuals also sent in letters of objection and have therefore only been counted once - i.e. 45 total separate instances of objection in the petition.

➤ The letters of support mention aspects such as the following:

- the high rates of homelessness and rough sleeping in Haringey and the UK,
- that providing homes to help resolve this problem and support vulnerable members of the community is a good idea – particularly during a pandemic,
- that the management and support for the proposed residents would be holistic and appropriate to mitigate concerns about anti-social behaviour; and
- that the design would complement and add vibrancy to the local area and built environment.

➤ The letters of objection relate to concerns highlighted in the original report (Appendix 3) relating to anti-social behaviour, noise & disturbance, impacts on neighbouring amenity (including overlooking) & parking, the design, and the size and number of units/homes.

- The consultation period will expire on 26th February. Any additional responses received after this report is drafted/published will be reported via an Addendum Report on 8 March 2021.

5.3 The following local groups/societies made representations:

- No representations received from local groups/societies to date.

5.4 The following Councillor made representations:

- Councillor Barbara Blake commented on the original application (please see Appendix 3).

6 ASSESSMENT OF THE AMENDMENTS

- Officers considered the original scheme complied with the relevant policies of the development plan (detailed in the original report at Appendix 3). The amendments seek to address the concerns raised by members and improve both the quality of the development as well as its impact on neighbouring properties. The following paragraphs will assess the amendments in detail.
- It is noted that the Mayor intends to formally publish the new London Plan on Tuesday 2 March 2021. So the 'Publication London Plan' will be the '2021 London Plan' from 02 March 2021 onwards. From the 02 March the weight that decision makers can attribute the policies in the plan will move from substantial to full weight. New London Plan policies of relevance include:
 - D6, which states that the design of new development must not be detrimental to the amenity of surrounding dwellings.
 - GG4, D1, D3 all emphasise the importance of high quality design.
 - Policy D3 states that development design should respond to local context by delivering buildings and spaces that are positioned and of a scale, appearance and high quality, with architecture that pays attention to detail, and gives thorough consideration to the practicality of use, flexibility, safety and the building lifespan, through appropriate construction methods and the use of attractive, robust materials which weather and mature well.
 - Policy GG2 and Policy D3 states that development proposals must make the most efficient use of land and be developed at the optimum density.
 - Policy D12 states that development proposals must achieve the highest standards of fire safety. Specifically, development proposals must achieve the highest standards of fire safety and ensure they incorporate appropriate features which reduce risk to life

Impact on the amenity of neighbours

- 6.1.1 The policies relevant to the impact of the development on the amenity of adjoining occupiers and residents are set out in section 6.3 of the original report (Appendix 3). The following paragraphs will assess the amendments and the impact they have in this regard.
- 6.1.2 The removal of the upper storey of Block A would remove any direct views at first floor level from Block A towards number 56 Ermine Road and the rest of the terrace (numbers 47-55) to the south/southwest of the site. The removal of the upper storey would also remove the associated staircase and access platform.
- 6.1.3 The amendments would significantly reduce any overlooking of number 56 and the wider terrace. It would mean that the closest first floor raised platform would be

approximately 16m away at the closest point (between the platform and the first floor of numbers 52/53). Beyond this point, Block B begins to angle away (to the northeast) from the terrace to the south side of Ermine Road and views of the wider terrace become more oblique and are further away.

- 6.1.4 The distance between number 56 and the platform of Block B would be 21m as opposed to 10m (to the platform of the upper storey to Block A) in the February scheme. The amendments would increase the window to window distance from the first floor of number 56 to the upper storey of the development (Block B) from approximately 15m to 23m. It would also reduce the perception of overlooking to and from the development.
- 6.1.5 The changes would mean that views towards numbers 57 and 58 (to the southeast) from Block B would be approximately 34m as opposed to 16m in the February scheme. These neighbouring properties are also orientated so that their rear elevations face westwards and, therefore, overlooking is constricted in any event by this orientation and relationship with the site.
- 6.1.6 The ground floor at Block A would remain 11 metres from number 56, however, at ground floor level the impact on privacy is considered to be minimal. It would essentially be the same as the views from the street. This provides a significant reduction in overlooking relative to the previous proposals.

Design

- 6.1.7 The policies relevant to the design of the development are set out in section 6.5 of the original report (Appendix 3). The following paragraphs will assess the current amendment and the impact it has in this regard.
- 6.1.8 The removal of the upper storey of Block A would reduce the visual presence of the scheme from Ermine Road but the ground floor windows would provide a degree of animation at street level and improve the urban design. It would also reduce the resident numbers meaning that there would be more external amenity space for each resident.
- 6.1.9 Having the front doors and living room windows of Block A facing the street is considered to be best urban design practice. Front doors and ground level windows from habitable rooms provide animation and passive surveillance to the street; such streets have been shown to suffer less crime and anti-social behaviour, even more so where doors and windows are on both sides of the street.
- 6.1.10 Having Block A sited in this way prevents the development from turning its back on the street and facing in on itself. This siting of the block also makes best use of the land to the south of Block A (adjacent to Ermine Road) – creating front gardens rather than a dead space. The office at the eastern end of Block A, would also be

visible and open to the street, adding to animation and street life and being more visible than if sited elsewhere within the site.

- 6.1.11 Members raised concerns in the January meeting that the orange colour would be obtrusive and would not relate positively to neighbouring structures. The front and rear elevation panels of the modular units were amended to a grey colour (RAL7043) to match the window frames to the units in the February scheme. The doors to the units would remain in orange. These colours remain as proposed in the February scheme and would be secured by condition (No.19).
- 6.1.12 The current proposal, as with the February scheme, significantly reduces the amount of orange but retains some colour to provide a degree of vibrancy amongst the grey of the rest of the development. The rear elevation of Block C, which is visible from the High Road and the nearby conservation area, would not contain any orange.
- 6.1.13 The proposed colouration is a more sympathetic approach that relates positively to neighbouring structures and, along with the landscaping, would make a positive contribution to the site, improving the character and quality of the area with well-considered and proportioned buildings that provide much needed specialist accommodation.

Housing Delivery Test

- 6.1.14 The 2020 Housing Delivery Test (HDT) results were published on 19 January 2021 and as a result Haringey Local Planning Authority is now a “presumption authority” and paragraph 11d of the NPPF is relevant. The Council’s delivery of housing over the last three years is substantially below its housing target and so paragraph 11d of the NPPF is engaged by virtue of footnote 7 of the NPPF. Nevertheless, the proposed development has been found to be in accordance with development plan policies and, therefore, consideration of para. 11(d) is not required in this instance (but would be if the application were to be refused).

Other Issues

- 6.1.15 All other issues are discussed in the original report at Appendix 6.

6.2 Conclusion

- 6.2.1 The amendments made since the deferral on 8 February provide for an improved relationship with existing properties by way of removing any overlooking at first floor level from Block A. The reduction in unit numbers also means that there would be more external amenity space for each resident. The external colouring from the February scheme is retained and provides a ‘visually quieter’ addition to the street scene than that originally proposed in January. This is considered an appropriate

design response in the context of the wider planning assessment as set out in the original report (Appendix 3).

6.2.2 This report and recommendation should be read alongside the previous reports to committee (Appendix 3).

6.2.3 Planning permission should be granted for the reasons set out above. The details of the decision are set out in the RECOMMENDATION.

6.3 CIL

6.3.1 Based on the information given on the plans, the Mayoral CIL charge will be £47,956 (792sqm x £60.55) and the Haringey CIL charge will be £16,553 (792sqm x £20.90). This would be charged in accordance with the CIL Charging Schedule and any eligible relief and includes indexation in line with the RICS CIL Index.

7 RECOMMENDATION

GRANT PERMISSION subject to conditions in Appendix 1

Applicant's drawing No.(s)

Location Plan 109-08-PS-001; Proposed Site Plan 109-08-PS-002 L; Proposed Ground Floor Plan 109-08-PS-010 L; Proposed First Floor Plan 109-08-PS-011 E; Block A Elevations / Street Section 109-08-PS-020 Rev. D; Block B Elevations / Site Section A 109-08-PS-021 Rev. D; Block C Elevations / Site Section B 109-08-PS-022 Rev. D; ROOF PLAN CHM-D-18 D04; GENERAL PLAN CHM-D-01 D05.

Appendix 1

Subject to the following condition(s)

Temporary Permission

- 1) This permission shall be for a limited period expiring on 9/03/2028 when the building hereby approved shall be removed and the land reinstated.

Reason: The permanent retention of the building may prejudice the future development of the site thus preventing the optimal use of the site inconsistent with Policies H1 of the 2021 London Plan.

Approved Plans

- 2) The approved plans comprise drawing numbers (Location Plan 109-08-PS-001; Proposed Site Plan 109-08-PS-002 K; Proposed Ground Floor Plan 109-08-PS-010 K; Proposed First Floor Plan 109-08-PS-011; Block A Elevations / Street Section 109-08-PS-043 Rev. B; Block B Elevations / Site Section A 109-08-PS-044 Rev: A; Block C Elevations / Site Section B 109-08-PS-045 Rev: A; ROOF PLAN CHM-D-18 D04; GENERAL PLAN CHM-D-01 D05). The development shall be completed in accordance with the approved plans and retained as such thereafter for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: In order to ensure the development is carried out in accordance with the approved details and in the interests of amenity and good planning.

Materials as indicated on approved plans

- 3) The external materials to be used for the proposed development shall match the colour, size, shape, and texture of the materials indicated on the approved plans except where conditions attached to this planning permission indicate otherwise.

Reason: In order to ensure a satisfactory appearance for the proposed development, to safeguard the visual amenity of neighbouring properties and the appearance of the locality consistent with Policy D1 of the 2021 London Plan, Policy SP11 of the Haringey Local Plan 2013 and Policy DM1 of The Development Management DPD 2017.

No Parking Permits for New Residents

- 4) The development shall not be occupied other than through a lease/license/agreement between the operator and each resident that ensures that occupants of the development hereby approved are obligated not to apply for a parking permit for any Controlled Parking Zone (CPZ).

Reason: In order to ensure car parking is restricted in line with levels of existing and future public transport accessibility and connectivity and to comply with Policy T6 of the 2021 London Plan & Policy DM32 of The Development Management DPD 2017.

All Parking Delivered as Approved

- 5) The vehicular and cycle parking spaces shown on the approved plans shall be laid out and installed as approved and retained for the lifetime of the development. The hatched parking space indicated on drawing '109-08-PS-010 K' shall only be used for deliveries & servicing; or in/for emergencies except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: In order to ensure sufficient space is given over within the development to facilitate safe, clean, and efficient deliveries and servicing and to comply with Policies T5, T6, T6.1, & T7 of the 2021 London Plan.

Construction Management/Logistics Plan

- 6) Prior to above ground works, a Construction Management/Logistics Plan shall be submitted to and approved in writing by the local planning authority. The CLP shall be in accordance with Transport for London's Construction Logistics Plan Guidance (July 2017) and shall provide details on:
- i. Details of key phases of the construction programme, corresponding site layout, number of staff including modes of travel, parking provision (vehicles and cycles);
 - ii. Arrangements for management of construction material deliveries / removal, material storage, skip storage;
 - iii. Daily number and size of construction vehicles expected, vehicular swept paths (with 300mm error margins) to demonstrate largest construction vehicles arriving, parking in loading/unloading area, manoeuvring and departing in forward gear;
 - iv. Details of all temporary traffic management and parking restrictions required;
 - v. Details of any highway licences required due to the crane oversailing the public highway;
 - vi. Wheel washing facilities to keep highway clean of mud etc;
 - vii. Arrangements for management of Health and safety;
 - viii. Arrangements for dealing with complaints;
 - ix. Hours of operations;
 - x. Monitoring and joint working arrangements, where appropriate;
 - xi. Site access and car parking arrangements;

- xii. Delivery booking systems (allocated delivery slots for site management);
- xiii. A swept path analysis for crane vehicles carrying the necessary equipment;
- xiv. Agreed routes to/from the site;
- xv. Confirmation that all vehicles are recognised in the Fleet Operators Recognition Scheme (FORS) or similar;
- xvi. Timing of deliveries to and removals from the site by construction vehicles (to avoid peak times, as agreed with Highways Authority, 07.00 to 9.00 and 16.00 to 18.00, where possible); and
- xvii. Travel plans for staff/personnel involved in construction works to detail the measures to encourage sustainable travel to the site during the construction phase; and
- xviii. Joint arrangements with neighbouring developers for staff parking, Lorry Parking, and consolidation of facilities such as concrete batching; and
- xix. Temporary obstructions during the construction and delivery must be kept to a minimum and should not encroach on the clear space needed to provide safe passage for pedestrians or obstruct the flow of traffic on the TLRN.

Reason: In order to ensure that the proposal is consistent with 2021 London Plan Policy T7 and to safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality and to comply with DMDPD Policy DM23: Environmental Protection.

Energy Strategy

- 7) The development shall be constructed in accordance with:
- the Carbon Reduction Statement – ModulHaus Ermine Road prepared by Volumetric Modular Ltd (dated December 2020);
 - Overheating, MVHR, ASHP Technical Information Report prepared by Hill (dated 5 October 2020); and
 - the TM59 Overheating Study prepared by The Richards Design Partnership (dated November 2020).

and

the energy efficient materials and air source heat pumps shall be maintained for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: To ensure the development can comply with the Energy Hierarchy in line with 2021 London Plan Policy SI 2 and Local Plan Policy SP4.

Carbon Offset Contribution

- 8) The development hereby approved shall not be occupied until a payment of £7,454.65 towards carbon reduction measures in Haringey has been paid to the Council's Carbon Management Team to bring the level of carbon reduction from the site in line with the London Plan Policies 5.1, 5.2, 5.3, 5.7, 5.8, 5.9, 5.10, and 5.11; The Publication London Plan (2020) Policy SI 2; and Local Plan Policy SP4.

Reason: To ensure the development can comply with 2021 London Plan Policy SI2 and Local Plan Policy SP4.

Land Contamination

- 9) Prior to any further work on site:
- a) Using the information already acquired from the submitted Phase I Geo-Environmental Assessment with reference DS-21906G-20-420 proposed by IDOM Merebrook Limited dated October 2020, a site investigation shall be designed for the site using information obtained from the desktop study and Conceptual Model. The site investigation must be comprehensive enough to enable; a risk assessment to be undertaken, refinement of the Conceptual Model, and the development of a Method Statement detailing the remediation requirements.
 - b) The risk assessment and refined Conceptual Model shall be submitted, along with the site investigation report, to the Local Planning Authority which shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site.
 - c) Where remediation of contamination on the site is required, completion of the remediation detailed in the method statement shall be carried out and;
 - d) A report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority before the development is occupied.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety and to comply with the 2021 London Plan and DMDPD Policy DM23.

Unexpected Contamination

- 10) If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved.

Reason: To ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable levels of water pollution from previously

unidentified contamination sources at the development site in line with paragraph 109 of the National Planning Policy Framework.

CEMP

- 11) Prior to above ground works, a Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the local planning authority.

The following applies to above:

- a) The CEMP shall include an Air Quality and Dust Management Plan (AQDMP).
- b) The CEMP shall provide details of how construction works are to be undertaken respectively and shall include:
 - i. A construction method statement which identifies the stages and details how works will be undertaken;
 - ii. Details of working hours, which unless otherwise agreed with the Local Planning Authority shall be limited to 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 on Saturdays;
 - iii. Details of plant and machinery to be used during demolition/construction works;
 - iv. Details of an Unexploded Ordnance Survey;
 - v. Details of the waste management strategy;
 - vi. Details of community engagement arrangements;
 - vii. Details of any acoustic hoarding;
 - viii. A temporary drainage strategy and performance specification to control surface water runoff and Pollution Prevention Plan (in accordance with Environment Agency guidance);
 - ix. Details of external lighting; and,
 - x. Details of any other standard environmental management and control measures to be implemented.
- c) The AQDMP will be in accordance with the Greater London Authority SPG Dust and Emissions Control (2014) and shall include:
 - i. Mitigation measures to manage and minimise demolition/construction dust emissions during works;
 - ii. Details confirming the Plot has been registered at <http://nrmm.london> where applicable;
 - iii. Evidence of Non-Road Mobile Machinery (NRMM) and plant registration shall be available on site in the event of Local Authority Inspection;
 - iv. An inventory of NRMM currently on site (machinery should be regularly serviced, and service logs kept on site, which includes proof of emission limits for equipment for inspection);
 - v. A Dust Risk Assessment for the works; and

- vi. Lorry Parking, in joint arrangement where appropriate.

Reason: To safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality and to comply with the 2021 London Plan and DMDPD Policy DM23: Environmental Protection.

Drainage / Flooding (FRA)

- 12) Prior to above ground works, a revised FRA shall be submitted to and approved in writing by the local planning authority. The revised FRA shall provide new rainfall data using Flood Estimation Handbook (FEH) rainfall theory, in accordance with Haringey guidance.

The FRA shall include a completed London Sustainable Drainage pro-forma, as well as evidence that Thames Water have given consent to connect to their network and capacity exists to receive the surface water.

Reason: In order to comply with Policies DM24, 5, 6, & 9 of the Haringey Development Management DPD (2017), policy SP5 of the Local Plan.

Provision & Retention of SuDS

- 13) Prior to above ground works, Section 4 (Sustainable Drainage Maintenance Strategy) & Appendix B (Proposed Drainage Strategy Drawings) of 'Design Note – Ermine Rd Drainage & Flood Risk 16/12/2020' and the SuDS options it proposes (namely Below Ground Cellular Attenuation & Permeable Paving) shall be provided, maintained in accordance with the associated Maintenance Schedules, and retained for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

For the avoidance of doubt, all hardstanding areas shall be permeable.

Reason: In order to ensure a satisfactory provision for drainage on site and ensure suitable drainage provision for the development and comply with Policies DM24, 5, & 6 of the Haringey Development Management DPD (2017), policy SP5 of the Local Plan.

No Light Spill into SINC (Bats)

- 14) Light from external lighting in the development shall not spill to a harmful extent into the adjacent ecological asset (Tottenham Railsides SINC). Any lighting located near the northwest boundary of the site shall have directional shading to ensure

that light spillage into the SINC does not have an undue impact on foraging bats and their habitats.

Reason: In order to ensure bats and their habitats are suitably protected and comply with Policies DM19 (Nature Conservation) of the Haringey Development Management DPD (2017) and Policy G6 of the 2021 London Plan.

Tree protection (SINC/Bats)

- 15) The existing trees adjacent to the northwest boundary of the site shall not be lopped, felled or otherwise affected in any way (including raising and lowering soil levels under the crown spread of the trees) and no excavation shall be cut under the crown spread of the trees without the prior written permission of the Local Planning Authority.

Reason: In order to ensure bats and their habitats are suitably protected and to safeguard trees in the interest of visual amenity of the area consistent with the 2021 London Plan, Policy SP11 of the Haringey Local Plan 2017 and Policies DM1 and DM19 of The Development Management DPD (2017).

Waste storage delivered and made accessible

- 16) The waste storage shown on the approved plans shall be delivered and retained for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

On occupation of the development - the codes, keys, transponders or any other type of access equipment to the waste store shall be provided to the Council and access to the waste store shall remain unobstructed and within 10m from Ermine Road on collection day.

Reason: In order to ensure waste storage is suitably accessible and to comply with Policy DM4 of The Development Management DPD (2017).

Secured by Design

- 17) Prior to occupation of the development, details of full Secured by Design' Accreditation shall be submitted to and approved in writing by the Local Planning Authority. The details shall demonstrate consultation with the Metropolitan Police Designing Out Crime Officers. The development shall be carried out in accordance with the approved details and maintained thereafter for the lifetime of the development.

Reason: To ensure safe and secure development and reduce crime and to comply with 2021 London Plan Policy D11 and DMDPD Policy DM2.

Culvert Protection

- 18) Prior to any above ground works, a ground penetrating radar (GPR) survey of the site and within 4m of the northern boundary shall be carried out to ascertain if the Stonebridge Brook (culvert) is located under or near to the site.

If the GPR survey finds the culvert under, or within 4m of, the site then no further development shall be carried out until a condition survey has been completed and a strategy put in place to protect the culvert. The strategy shall be submitted to and approved in writing by, the local planning authority (in consultation with the Environment Agency) and shall be implemented as approved. The strategy shall include the following components;

- Details of the location, depth, and structural condition of the culvert.
- Plans to repair any damage the culvert to ensure structural stability for the lifetime of the development.
- Details of how work would be carried out on site without damaging the structure, or impeding the function of, the culvert (including loading calculations).

If the GPR survey does not locate the culvert, then the results shall be shared with the EA and works can proceed in accordance with the other conditions of the permission.

Reason: To reduce the risk of flooding to the proposed development and future occupants, ensure the structural integrity of the existing flood defences and reduce the risk of flooding from blockages to any existing culvert in accordance with Policy DM28: Protecting and Enhancing Watercourses and Flood Defences.

Building colour

- 19) The external elevations to be used for the proposed modular units shall be a grey colour, with an orange front door and retained as such for the lifetime of the development unless otherwise agreed in writing by the Local Planning Authority.

Reason: In order to ensure a satisfactory appearance for the proposed development, to safeguard the visual amenity of neighbouring properties and the appearance of the locality consistent with the 2021 London Plan, Policy SP11 of the Haringey Local Plan 2013 and Policy DM1 of The Development Management DPD 2017.

Accommodation to be used only as supported housing and occupied in accordance with approved Management Plan

- 20) The accommodation shall only be occupied by people who have been street homeless in accordance with a Management Plan that shall be submitted to and

approved in writing by the Local Planning Authority prior to occupation. The Management Plan must include the following:

- Procedures for addressing complaints and concerns from neighbouring residents;
- Measures to minimise any noise and disturbance from the development;
- Further details of the role of the night concierge and the 24 hour on site presence throughout the life of the development;
- Details of the referral process and the assessment of suitability for occupants; and
- Details of the support services available to residents.

Reason: In order to ensure the public benefits of the proposal are realised for the lifetime of the development and to prevent the accommodation being used as other forms of housing or causing undue harm to the amenity of neighbouring occupiers.

Landscaping and boundary treatments

- 21) Prior to occupation of the development, details of all enclosures between the site and the public realm (fencing, walling, openings etc.) and all hard and soft landscaping to the public realm, all at a scale of at least 1:20, shall be submitted to and approved in writing by the Local Planning Authority. Details shall include the proposed design, height, materials, and species. The approved works shall be completed prior to occupation of the development and shall be permanently retained and maintained thereafter for the lifetime of the development unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of amenity and good planning.

Informatives:

- 1) **INFORMATIVE :** In dealing with this application, Haringey Council has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) (Amendment No.2) Order 2012 to foster the delivery of sustainable development in a positive and proactive manner.
- 2) **INFORMATIVE : CIL**
Based on the information given on the plans, the Mayoral CIL charge will be £54,720 (912sqm x £60.55) and the Haringey CIL charge will be £19,061 (912sqm x £20.90). This would be charged in accordance with the CIL Charging Schedule and any eligible relief and includes indexation in line with the RICS CIL Index.
- 3) **INFORMATIVE :** Hours of Construction Work: The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-
 - 8.00am - 6.00pm Monday to Friday
 - 8.00am - 1.00pm Saturday
 - and not at all on Sundays and Bank Holidays.
- 4) **INFORMATIVE :** Party Wall Act: The applicant's attention is drawn to the Party Wall Act 1996 which sets out requirements for notice to be given to relevant adjoining owners of intended works on a shared wall, on a boundary or if excavations are to be carried out near a neighbouring building.
- 5) **INFORMATIVE :** The new development will require numbering. The applicant should contact the Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 5573) to arrange for the allocation of a suitable address.
- 6) **INFORMATIVE :** The London Fire Brigade strongly recommends that sprinklers are considered for new developments. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier.
- 7) **INFORMATIVE :** With regards to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water course, or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the

removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777.

- 8) INFORMATIVE : Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Water pipes. The developer should take account of this minimum pressure in the design of the proposed development.
- 9) INFORMATIVE : A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing trade.effluent@thameswater.co.uk. Application forms should be completed online via www.thameswater.co.uk. Please refer to the Wholesale; Business customers; Groundwater discharges section.
- 10) INFORMATIVE : The proposed development is located within 15 metres of Thames Water underground assets and as such, the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures (<https://developers.thameswater.co.uk/Developing-a-large-site/Planning-yourdevelopment/Working-near-or-diverting-our-pipes>). Should you require further information please contact Thames Water. Email: developer.services@thameswater.co.uk Phone: 0800 009 3921 (Monday to Friday, 8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern Road, Reading, Berkshire RG1 8DB
- 11) INFORMATIVE : The applicant should be aware that the application site is identified as an Area of Surface Interest in the 2015 Crossrail 2 Safeguarding Directions. In the event of a decision to progress the Crossrail 2 project the land may be subject to compulsory purchase in order to provide a worksite for the future delivery of the Crossrail 2 scheme.
- 12) INFORMATIVE : The applicant must seek the continual advice of the Metropolitan Police Service Designing Out Crime Officers (DOCOs) to achieve accreditation. The services of MPS DOCOs are available Free of Charge and can be contacted via docomailbox.ne@met.police.uk or 0208 217 3813.
- 13) INFORMATIVE : The Environmental Permitting (England and Wales) Regulations 2016 require a permit or exemption to be obtained for any activities which will take place:

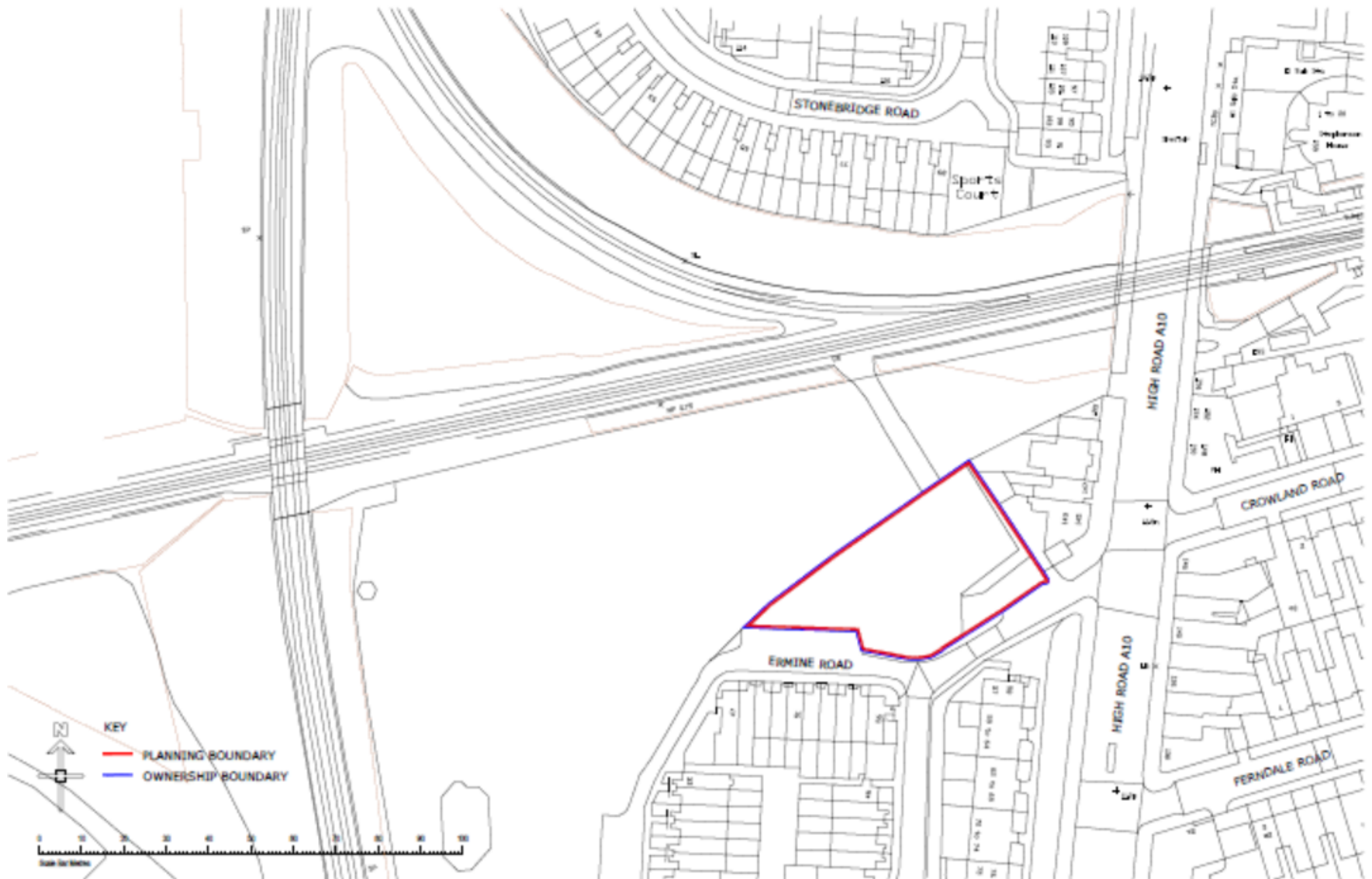
- on or within 8 metres of a main river (16 metres if tidal);
- on or within 8 metres of a flood defence structure or culverted main river (16 metres if tidal);
- on or within 16 metres of a sea defence;
- involving quarrying or excavation within 16 metres of any main river, flood defence (including a remote defence) or culvert; or
- in a floodplain more than 8 metres from the river bank, culvert or flood defence structure (16 metres if it's a tidal main river) and you do not already have planning permission.

For further guidance please visit <https://www.gov.uk/guidance/flood-risk-activities-environmental-permits> or contact our National Customer Contact Centre on 03708 506 506 (Monday to Friday, 8am to 6pm) or by emailing enquiries@environment-agency.gov.uk.

The applicant should not assume that a permit will automatically be forthcoming once planning permission has been granted, and we advise them to consult with us at the earliest opportunity.

Appendix 2 Plans and Images

Location Plan



Notes:

- DRAWING BASED ON SURVEY PROVIDED FROM INGLETONWOOD DOCUMENT PACKAGE
- BOUNDARY TO BE CONFIRMED WITH LANDOWNER
- ALL EXISTING TREES APPROXIMATED FROM GOOGLE MAPS, TREE SURVEY REQUIRED TO ASCERTAIN CANOPIES AND TREE RPA IMPACTS
- UNIT MODULES FULLY DESIGNED BY MANUFACTURER, SHOWN BASED ON DRAWING 0000-HP-000-00-DP-0C-001-CDS
- STAIRS AND WALKWAY AS Hill RESIDENTIAL DESIGN INTENT - TO BE FULLY DESIGNED AND CALCULATED BY MANUFACTURER
- FOUNDATIONS / SETTING OUT TO BE DESIGNED BY ENGINEER
- LANDSCAPE PROPOSED PRELIMINARY TBC BY LANDSCAPE ARCHITECT
- GATES MARKED 'A' TO BE SERVICE GATES, LOCKABLE WITH OVERRIDING ESCAPE BROWNINGERY FROM INSIDE
- GATES MARKED 'B' TO CONTAIN DIGGLOCKS
- CYCLE STANDS INDICATED SS ARE INTENDED FOR SHORT STAY
- CYCLE STANDS INDICATED LC ARE INTENDED FOR LARGE CYCLES
- ALL CYCLE STANDS TO BE M SHAPED
- ALL DIMENSIONS IN MM

Landscaping Proposals Key

- MACADAM FOOTPATH
- PAVING SLABS
- GRAVEL
- GRASS
- PLANTING BED
- KNEE RAIL FENCING
- WELDMESH FENCING 1.8M HIGH
- VERTICAL BAR FENCING 1.5M HIGH
- PROPOSED TREE
- LIGHTING COLUMN
- CCTV CAMERA COLUMN MOUNTED

Redline to be confirmed by landowner

All existing trees approximated from Google Maps - tree survey on topo survey required

The site plan shows two main building footprints labeled "BLOCK A FFL 11.30". The site is bounded by a red line indicating the boundary to be confirmed by the landowner. Various landscaping elements are proposed, including macadam footpaths, paving slabs, gravel, grass, planting beds, knee rail fencing, weldmesh fencing, vertical bar fencing, proposed trees, lighting columns, and CCTV camera columns. The plan also includes dimensions and notes regarding the source of the survey data and the need for further design and confirmation.

Indicative room layout



Block A Elevation



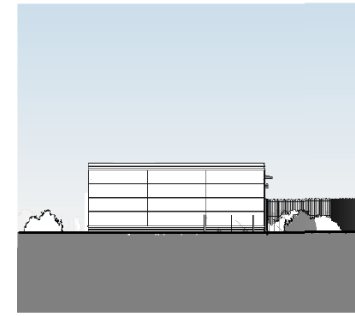
① **Block A Front Elvation / Ermine Rd Section**
1 : 100



② **Block A Right Elevation**
1 : 100



③ **Block A Rear Elevation**
1 : 100



④ **Block A Left Elevation**
1 : 100



Notes:

1. DRAWING BASED ON SURVEY PROVIDED FROM INGLETENWOOD DOCUMENT PACKAGE
2. BOUNDARY TO BE CONFIRMED WITH LANDOWNER
3. ALL EXISTING TREES APPROXIMATED FROM GOOGLE MAPS, TREE SURVEY REQUIRED TO ASCERTAIN CANOPIES AND TREE RPA IMPACTS
4. UNIT MODULES FULLY DESIGNED BY MANUFACTURER, SHOWN BASED ON DRAWING 0000-HF-000-00-DR-BC-001-C05
5. STAIRS AND WALKWAY AS HILL RESIDENTIAL DESIGN INTENT - TO BE FULLY DESIGNED AND CALCULATED BY MANUFACTURER
6. FOUNDATIONS / SETTING OUT TO BE DESIGNED BY ENGINEER
7. LANDSCAPE PROPOSED PRELIMINARY TBC BY LANDSCAPE ARCHITECT

Landscaping Proposals Key

- PROPOSED TREE
- LIGHTING COLUMN
- CCTV CAMERA COLUMN MOUNTED

ALL EXISTING TREES APPROXIMATED FROM GOOGLE MAPS - TREE SURVEY ON TOPO SURVEY REQUIRED

REDLINE TO BE CONFIRMED BY LANDOWNER

Rev	No	Date	Amendment	Author
A	2020-11-20	Adjust to suit updated FOD drawings @ JH Request	JA	
B	2020-12-14	Adjust layout to suit planning comments / EFP email 2020-12-10	JA	
C	2020-12-18	Add Construction Lighting CCTV	JA	
D	2020-12-18	Add Camera @ MC Request	JA	
E	2021-02-10	Block A First Floor Removed @ EFP Request	JA	

Client:
Hill Residential Limited
The Courtyard, Abbey Barns,
Ickleton, CB10 1SX

Project:
Foundation 200
Homeless units

Drawing:
Proposed First Floor Plan
Emmie Road, Tottenham
38 Unit Scheme

Scale:
1:100@A1

Date:
September 2020

Drawn By:
JA

Checked By:
PO

Drawing No:
1106-00-PC-011

Rev:
F

Appendix 3

Committee Report for 08 February 2021 and Addendum to Report for Committee 08 February 2021

Within separate document.

Planning Sub Committee

Item No.

REPORT FOR CONSIDERATION AT PLANNING SUB-COMMITTEE

1. APPLICATION DETAILS

Reference No: HGY/2020/2794

Ward: Seven Sisters

Address: Land to the North of Ermine Road N15

Proposal: Temporary planning permission for a period of 7 years to provide 38 modular units for use as accommodation for people who have been street homeless, with associated cycle and refuse storage.

Applicant: Hill Residential

Ownership: Council

Case Officer Contact: Philip Elliott

Site Visit Date: N/A

Date received: 06/11/2020 **Last amended date:** 19/01/2021.

- 1.1 This application was initially reported to Planning Sub-Committee on 11 January 2021 as it is a major application on Council owned land, and significant material planning objections were received during the first consultation process.
- 1.2 A decision on this application was deferred at the Planning Sub-Committee meeting on the 11 January 2021. This was to allow for further information / amendments to be submitted by the applicant to respond to concerns raised by members of the committee in relation to the character of development and its impact on the privacy and amenities of existing residents.
- 1.3 Amendments were received on 19 January 2021. These are summarised as:
 - Addition of louvred screens to front of Block A (upper level)
 - Changes to the colour of the units
- 1.4 Interested parties were notified of the amendments on 19 January 2021. All responses to both consultations remain relevant and are material considerations (see original report to Committee appended at Appendix 4).

1.5. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- There is a significant need for accommodation for rough sleepers in Haringey, and this proposal provides 37 units of temporary accommodation specifically designed to meet the needs of people who have experienced homelessness. It would improve the life expectancy of residents and reduce the financial costs of temporary accommodation to the Council.
- The proposal would provide much needed temporary accommodation for 37 Haringey residents that have experienced homelessness;
- The modular construction enables the proposed homes to be built quickly so that interventions can be made as soon as possible to help those in need;
- The proposal would make a positive contribution to Ermine Road, improving the character of this vacant site.
- The proposed development would preserve the setting of the nearby Seven Sisters/Page Green Conservation Area and would have an acceptable appearance from within the Conservation Area and the locally listed Dutch House.
- There would be no material impact on parking in the area.
- Impacts on nearby properties would be suitably mitigated, particularly given the revisions which minimise overlooking and safeguard privacy.

2. RECOMMENDATION

- 2.1 That the Committee resolve to GRANT planning permission and that the Head of Development Management or Assistant Director is authorised to issue the planning permission and impose conditions and informatives.

Conditions (the full text of recommended conditions is contained in Appendix 1)

Presumption in Favour of Sustainable Development

- In the event that members choose to make a decision contrary to the officer recommendation (that the proposed development accords with the development plan overall), it will be necessary to consider the presumption in favour of sustainable development in the NPPF. This is because the Council's delivery of housing over the last three years is substantially below its housing target and so paragraph 11(d) of the NPPF is engaged by virtue of footnote 7 of the NPPF. Members must state their reasons including why it is considered that the presumption is not engaged.

CONTENTS

- 3) KEY AMENDMENTS SINCE DEFERRAL
- 4) FURTHER CONSULTATION & RESPONSES
- 5) LOCAL REPRESENTATIONS
- 6) ASSESSMENT OF THE AMENDMENTS
- 7) RECOMMENDATION
- 8) PLANNING CONDITIONS & INFORMATIVES

APPENDICES:

Appendix 1	Planning Conditions and Informatives
Appendix 2	Plans and Images
Appendix 3	Addendum to Report for Committee 11 January 2021
Appendix 4	Committee Report for 11 January 2021

3.0 KEY AMENDMENTS SINCE DEFERRAL

3.1 Amendments:

3.1.1. Concerns were raised by members of the committee at the meeting on 11 January 2021 in relation to the potential for overlooking from the stair and raised platform to Block A (which provides access to the upper storey of this block) towards existing dwellings on Ermine Road. Concerns were also raised about the colour of the front and rear elevations of the modular units which were proposed to be in orange.

3.1.2. In response to this concern the applicants have submitted revised drawings that:

- **Incorporate louvred screens** to the upper part of both staircases and to the ends of the raised platform to Block A. These screens would restrict views southwards of properties on Ermine Road from the upper storey of Block A. This increases the closest, non-screened window to window distance to from approximately 13 metres to 15 metres between Block A and the nearest property at number 56 Ermine Road.
- **Grey painted finish to match the flank elevations. The front doors would remain orange.** This would significantly reduce the presence of orange in the development.

4. CONSULTATION & RESPONSES

4.1. Application Consultation (all original responses remain relevant and this report should be read alongside the original report in appendix 4, which sets-out responses to the original consultation.)

4.1.1. The following were consulted on the amended application:

Internal:

1) Design

- *The louvred screens would hide pedestrians nearing the top of the stairs and at those corners from the nearest existing houses and reduce their visibility from the street, whilst still allowing some visibility of them in the centre of the access balcony and still leaving the front doors and windows to those 1st floor flats visible from the street and with a view of the street at the T-junction, where there will be no close direct line of site from those flats or their balcony to existing residential neighbours.*
- *However, it is considered important for the visibility of the development, and to integrate the residents into the community, that the flats in Block A look out*

into the street, their front doors and living room windows are visible from the street and benefit from a view of the street.

- *The louvred screens will only improve views of the development, by reducing the visible number of stairs and balconies, which can make the elevational composition more cluttered.*
- *The change in colours will make the proposal look less “strident”, with less bright orange and greyer in the external colour scheme. However, as each entrance door will still be orange, it will retain that counterpoint of stronger, more cheerful colour, and they will emphasise the location of each entrance door and the individual identity of each flat. The CGIs show the colour changes reduce the impact of the proposals, visually recessing them into the landscape and context.*

External:

2) Environment Agency (EA)

- *No further comments received at time of drafting report. Responses will be reported via an Addendum Report on 1 February 2021.*

3) London Fire Brigade (LFB)

- *No further comments received at time of drafting report. Responses will be reported via an Addendum Report on 1 February 2021.*

4) Designing Out Crime Officer - Metropolitan Police Service

- *No comments received at time of drafting report. Responses will be reported via an Addendum Report on 1 February 2021.*

All previous responses are set out in the original report in Appendix 4.

5. LOCAL REPRESENTATIONS

5.1 The following were consulted on the amendments:

- All residents that commented on the original scheme [66] were notified of the amended plans.

*It is noted that several commentators did not provide an email address or a full postal address when submitting their representations. The Council has contacted as many people as possible given the information available.

5.2 The number of representations received from neighbours, local groups etc in response to notification and publicity of the application were as follows:

- Number of individual responses to date:

- 124 instances of objection have been received (59 were reported on 11th Jan committee report not including the petition).
- 90 instances of support have been received (1 was reported on 11th Jan committee report) .
- The above figures include names and addresses added to a petition objecting to the proposal. 14 of individuals listed on the petition also sent in objections so they have only been counted once.

➤ The additional letters of support raise the following new points:

- the high rates of homelessness and rough sleeping in Haringey and the UK,
- that providing homes to help resolve this problem and support vulnerable members of the community is a good idea – particularly during a pandemic,
- that the management and support for the proposed residents would be holistic and appropriate to mitigate concerns about anti-social behaviour; and
- that the design would complement and add vibrancy to the local area and built environment.

➤ The letters of objection relate to concerns highlighted in the original report (Appendix 4) relating to anti-social behaviour, noise & disturbance, impacts on neighbouring amenity (including overlooking) & parking, the design, and the size and number of units/homes.

- The consultation period will expire on the 29 January. Any additional responses received after this report was drafted will be reported via an Addendum Report on 8 February 2021.

5.3 The following local groups/societies made representations:

- No representations received from local groups/societies to date.

5.4 The following Councillor made representations:

- Councillor Barbara Blake commented on the original application (please see Appendix 4).

6 ASSESSMENT OF THE AMENDMENTS

- Officers considered the original scheme complied with the relevant policies (detailed in the report at Appendix 4). The amendments seek to address the concerns raised by Members and improve both the design of the

building as well as its impact on neighbouring properties. Conditions are recommended that would ensure the amendments are delivered and retained in perpetuity. The following paragraphs will assess the amendments in detail.

Impact on the amenity of neighbours

- 6.1.1 The policies relevant to the impact of the development on the amenity of adjoining occupiers and residents are set out in section 6.3 of the original report. The following paragraphs will assess the amendments and the impact they have in this regard.
- 6.1.2 The louvred screening would prevent direct views from the upper storey of Block A towards number 56 Ermine Road and the closest terraced property to the southwest. The screening to the western elevation would wrap around the corner of the building which would be closest to number 56 and the other properties in the terrace.
- 6.1.3 The screening would minimise any overlooking of number 56 and the wider terrace. The screening would taper down to the east as it moves beyond the front door of the first unit. Beyond this point, Block A begins to angle away from number 56 and views of this property and the wider terrace become more oblique.
- 6.1.4 The distance between number 56 and the platform which would now be screened off is 10 – 11m. The screening would increase the window to window distance to approx. 15m. It would also reduce the perception of overlooking towards and from the development by screening off the stair access.
- 6.1.5 The screening has not been continued along the entire platform. Views from vantage points beyond the screening would not result in harmful overlooking, given the angle and distances involved.
- 6.1.6 An unrelenting fence at this level would also be an overbearing feature on the overall design and would create an undue sense of enclosure for occupiers of all of the properties at this level.
- 6.1.7 The screening to the eastern elevation would block views towards numbers 57 and 58 where Block A would be closest to the terrace those properties form a part of. These properties are orientated so that the rear elevations face west and, therefore, overlooking is constricted in any event. The screening ensures that any overlooking is minimised and will be secured by condition (No.20).
- 6.1.8 The louvred design of the screening allows light to come through and provides a degree of perforation to provide design interest while avoiding solid expanses of steel.

Design

- 6.1.9 The policies relevant to the design of the development are set out in section 6.5 of the original report. The following paragraphs will assess the amendments and the impact they have in this regard.
- 6.1.10 Members raised concerns in the January meeting that the orange colour would be obtrusive and would not relate positively to neighbouring structures. The front and rear elevation panels of the modular units have been amended to a grey colour (RAL7043) to match the window frames to the units. The doors to the units would remain in orange. The colours can be secured by condition (No.19).
- 6.1.11 The current proposal significantly reduces the amount of orange but retains some colour to provide a degree of vibrancy amongst the grey of the rest of the development. The rear elevation of Block C, which is visible from the High Road and the nearby conservation area, would not contain any orange.
- 6.1.12 The revised colouration is a more sympathetic approach that relates positively to neighbouring structures and, along with the landscaping, would make a positive contribution to the site, improving the character and quality of the area with well-considered and proportioned buildings that provide much needed specialist accommodation.

Housing Delivery Test

- 6.1.13 The 2020 Housing Delivery Test (HDT) results were published on 19 January 2021 and as a result the LPA is now subject to the 'presumption in favour of sustainable development' and paragraph 11d of the NPPF is relevant. The Council's delivery of housing over the last three years is substantially below its housing target and so paragraph 11d) of the NPPF is engaged by virtue of footnote 7 of the NPPF. Nevertheless, the proposed development has been found to be in accordance with development plan policies and therefore consideration of para 11(d) is not required in this instance (but would be, if the application was to be refused).

Other Issues

- 6.1.14 All other issues are discussed in the original report at Appendix 4.

6.2 Conclusion

- 6.2.1 The amendments made since deferral provide for an improved relationship with existing properties by way of limiting overlooking from the upper level of Block A, and the external colouring provides a 'visually quieter' addition to the street scene than that originally proposed. This is considered an appropriate design response in the context of the wider planning assessment as set out in the original report.

6.2.2 This report and recommendation should be read alongside the original report to committee (Appendix 4).

6.2.3 Planning permission should be granted for the reasons set out above. The details of the decision are set out in the RECOMMENDATION.

6.3 CIL

6.3.1 Based on the information given on the plans, the Mayoral CIL charge will be £54,720 (912sqm x £60.55) and the Haringey CIL charge will be £19,061 (912sqm x £20.90). This would be charged in accordance with the CIL Charging Schedule and any eligible relief and includes indexation in line with the RICS CIL Index.

7 RECOMMENDATION

GRANT PERMISSION subject to conditions in Appendix 1

Applicant's drawing No.(s)

Location Plan 109-08-PS-001; Proposed Site Plan 109-08-PS-002 K; Proposed Ground Floor Plan 109-08-PS-010 K; Proposed First Floor Plan 109-08-PS-011; Block A Elevations / Street Section 109-08-PS-043 Rev. B; Block B Elevations / Site Section A 109-08-PS-044 Rev: A; Block C Elevations / Site Section B 109-08-PS-045 Rev: A; ROOF PLAN CHM-D-18 D04; GENERAL PLAN CHM-D-01 D05.

Appendix 1

Subject to the following condition(s)

Temporary Permission

- 1) This permission shall be for a limited period expiring on 12/02/2028 when the building hereby approved shall be removed and the land reinstated.

Reason: The permanent retention of the building may prejudice the future development of the site thus preventing the optimal use of the site inconsistent with Policy 3.4 of the London Plan 2016.

Approved Plans

- 2) The approved plans comprise drawing numbers (Location Plan 109-08-PS-001; Proposed Site Plan 109-08-PS-002 K; Proposed Ground Floor Plan 109-08-PS-010 K; Proposed First Floor Plan 109-08-PS-011; Block A Elevations / Street Section 109-08-PS-043 Rev. B; Block B Elevations / Site Section A 109-08-PS-044 Rev: A; Block C Elevations / Site Section B 109-08-PS-045 Rev: A; ROOF PLAN CHM-D-18 D04; GENERAL PLAN CHM-D-01 D05). The development shall be completed in accordance with the approved plans and retained as such thereafter for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: In order to ensure the development is carried out in accordance with the approved details and in the interests of amenity and good planning.

Materials as indicated on approved plans

- 3) The external materials to be used for the proposed development shall match the colour, size, shape, and texture of the materials indicated on the approved plans except where conditions attached to this planning permission indicate otherwise.

Reason: In order to ensure a satisfactory appearance for the proposed development, to safeguard the visual amenity of neighbouring properties and the appearance of the locality consistent with Policy 7.6 of the London Plan 2016, Policy SP11 of the Haringey Local Plan 2013 and Policy DM1 of The Development Management DPD 2017.

No Parking Permits for New Residents

- 4) The development shall not be occupied other than through a lease/license/agreement between the operator and each resident that ensures

that occupants of the development hereby approved are obligated not to apply for a parking permit for any Controlled Parking Zone (CPZ).

Reason: In order to ensure car parking is restricted in line with levels of existing and future public transport accessibility and connectivity and to comply with Policy T6 of the Publication London Plan (2020) & Policy DM32 of The Development Management DPD 2017.

All Parking Delivered as Approved

- 5) The vehicular and cycle parking spaces shown on the approved plans shall be laid out and installed as approved and retained for the lifetime of the development. The hatched parking space indicated on drawing '109-08-PS-010 K' shall only be used for deliveries & servicing; or in/for emergencies except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: In order to ensure sufficient space is given over within the development to facilitate safe, clean, and efficient deliveries and servicing and to comply with Policies T5, T6, T6.1, & T7 of the Publication London Plan (2020).

Construction Management/Logistics Plan

- 6) Prior to above ground works, a Construction Management/Logistics Plan shall be submitted to and approved in writing by the local planning authority. The CLP shall be in accordance with Transport for London's Construction Logistics Plan Guidance (July 2017) and shall provide details on:
- i. Details of key phases of the construction programme, corresponding site layout, number of staff including modes of travel, parking provision (vehicles and cycles);
 - ii. Arrangements for management of construction material deliveries / removal, material storage, skip storage;
 - iii. Daily number and size of construction vehicles expected, vehicular swept paths (with 300mm error margins) to demonstrate largest construction vehicles arriving, parking in loading/unloading area, manoeuvring and departing in forward gear;
 - iv. Details of all temporary traffic management and parking restrictions required;
 - v. Details of any highway licences required due to the crane oversailing the public highway;
 - vi. Wheel washing facilities to keep highway clean of mud etc;
 - vii. Arrangements for management of Health and safety;
 - viii. Arrangements for dealing with complaints;
 - ix. Hours of operations;

- x. Monitoring and joint working arrangements, where appropriate;
- xi. Site access and car parking arrangements;
- xii. Delivery booking systems (allocated delivery slots for site management);
- xiii. A swept path analysis for crane vehicles carrying the necessary equipment;
- xiv. Agreed routes to/from the site;
- xv. Confirmation that all vehicles are recognised in the Fleet Operators Recognition Scheme (FORS) or similar;
- xvi. Timing of deliveries to and removals from the site by construction vehicles (to avoid peak times, as agreed with Highways Authority, 07.00 to 9.00 and 16.00 to 18.00, where possible); and
- xvii. Travel plans for staff/personnel involved in construction works to detail the measures to encourage sustainable travel to the site during the construction phase; and
- xviii. Joint arrangements with neighbouring developers for staff parking, Lorry Parking, and consolidation of facilities such as concrete batching; and
- xix. Temporary obstructions during the construction and delivery must be kept to a minimum and should not encroach on the clear space needed to provide safe passage for pedestrians or obstruct the flow of traffic on the TLRN.

Reason: In order to ensure that the proposal is consistent with Publication London Plan Policy T7 and to safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality and to comply with DMDPD Policy DM23: Environmental Protection.

Energy Strategy

- 7) The development shall be constructed in accordance with:
- the Carbon Reduction Statement – ModulHaus Ermine Road prepared by Volumetric Modular Ltd (dated December 2020);
 - Overheating, MVHR, ASHP Technical Information Report prepared by Hill (dated 5 October 2020); and
 - the TM59 Overheating Study prepared by The Richards Design Partnership (dated November 2020).

and

the energy efficient materials and air source heat pumps shall be maintained for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: To ensure the development can comply with the Energy Hierarchy in line with London Plan 2016 Policy 5.2, Publication London Plan Policy SI 2 and Local Plan Policy SP4.

Carbon Offset Contribution

- 8) The development hereby approved shall not be occupied until a payment of £7,454.65 towards carbon reduction measures in Haringey has been paid to the Council's Carbon Management Team to bring the level of carbon reduction from the site in line with the London Plan Policies 5.1, 5.2, 5.3, 5.7, 5.8, 5.9, 5.10, and 5.11; The Publication London Plan (2020) Policy SI 2; and Local Plan Policy SP4.

Reason: To ensure the development can comply with Publication London Plan Policy SI2 and Local Plan Policy SP4.

Land Contamination

- 9) Prior to any further work on site:
- a) Using the information already acquired from the submitted Phase I Geo-Environmental Assessment with reference DS-21906G-20-420 proposed by IDOM Merebrook Limited dated October 2020, a site investigation shall be designed for the site using information obtained from the desktop study and Conceptual Model. The site investigation must be comprehensive enough to enable; a risk assessment to be undertaken, refinement of the Conceptual Model, and the development of a Method Statement detailing the remediation requirements.
 - b) The risk assessment and refined Conceptual Model shall be submitted, along with the site investigation report, to the Local Planning Authority which shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site.
 - c) Where remediation of contamination on the site is required, completion of the remediation detailed in the method statement shall be carried out and;
 - d) A report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority before the development is occupied.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety and to comply with London Plan (2016) policy 5.21 (Contaminated land) and DMDPD Policy DM23.

Unexpected Contamination

- 10) If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and

approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved.

Reason: To ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable levels of water pollution from previously unidentified contamination sources at the development site in line with paragraph 109 of the National Planning Policy Framework.

CEMP

- 11) Prior to above ground works, a Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the local planning authority.

The following applies to above:

- a) The CEMP shall include an Air Quality and Dust Management Plan (AQDMP).
- b) The CEMP shall provide details of how construction works are to be undertaken respectively and shall include:
 - i. A construction method statement which identifies the stages and details how works will be undertaken;
 - ii. Details of working hours, which unless otherwise agreed with the Local Planning Authority shall be limited to 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 on Saturdays;
 - iii. Details of plant and machinery to be used during demolition/construction works;
 - iv. Details of an Unexploded Ordnance Survey;
 - v. Details of the waste management strategy;
 - vi. Details of community engagement arrangements;
 - vii. Details of any acoustic hoarding;
 - viii. A temporary drainage strategy and performance specification to control surface water runoff and Pollution Prevention Plan (in accordance with Environment Agency guidance);
 - ix. Details of external lighting; and,
 - x. Details of any other standard environmental management and control measures to be implemented.
- c) The AQDMP will be in accordance with the Greater London Authority SPG Dust and Emissions Control (2014) and shall include:
 - i. Mitigation measures to manage and minimise demolition/construction dust emissions during works;
 - ii. Details confirming the Plot has been registered at <http://nrmm.london> where applicable;

- iii. Evidence of Non-Road Mobile Machinery (NRMM) and plant registration shall be available on site in the event of Local Authority Inspection;
- iv. An inventory of NRMM currently on site (machinery should be regularly serviced, and service logs kept on site, which includes proof of emission limits for equipment for inspection);
- v. A Dust Risk Assessment for the works; and
- vi. Lorry Parking, in joint arrangement where appropriate.

Reason: To safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality and to comply with Policy 5.21 (Contaminated land) of the London Plan (2016) and DMDPD Policy DM23: Environmental Protection.

Drainage / Flooding (FRA)

- 12) Prior to above ground works, a revised FRA shall be submitted to and approved in writing by the local planning authority. The revised FRA shall provide new rainfall data using Flood Estimation Handbook (FEH) rainfall theory, in accordance with Haringey guidance.

The FRA shall include a completed London Sustainable Drainage pro-forma, as well as evidence that Thames Water have given consent to connect to their network and capacity exists to receive the surface water.

Reason: In order to comply with Policies DM24, 5, 6, & 9 of the Haringey Development Management DPD (2017), policy SP5 of the Local Plan.

Provision & Retention of SuDS

- 13) Prior to above ground works, Section 4 (Sustainable Drainage Maintenance Strategy) & Appendix B (Proposed Drainage Strategy Drawings) of 'Design Note – Ermine Rd Drainage & Flood Risk 16/12/2020' and the SuDS options it proposes (namely Below Ground Cellular Attenuation & Permeable Paving) shall be provided, maintained in accordance with the associated Maintenance Schedules, and retained for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

For the avoidance of doubt, all hardstanding areas shall be permeable.

Reason: In order to ensure a satisfactory provision for drainage on site and ensure suitable drainage provision for the development and comply with Policies DM24,

5, & 6 of the Haringey Development Management DPD (2017), policy SP5 of the Local Plan.

No Light Spill into SINC (Bats)

- 14) Light from external lighting in the development shall not spill to a harmful extent into the adjacent ecological asset (Tottenham Railsides SINC). Any lighting located near the northwest boundary of the site shall have directional shading to ensure that light spillage into the SINC does not have an undue impact on foraging bats and their habitats.

Reason: In order to ensure bats and their habitats are suitably protected and comply with Policies DM19 (Nature Conservation) of the Haringey Development Management DPD (2017), policy 7.19 of the London Plan, and Policy G6 of the Publication London Plan.

Tree protection (SINC/Bats)

- 15) The existing trees adjacent to the northwest boundary of the site shall not be lopped, felled or otherwise affected in any way (including raising and lowering soil levels under the crown spread of the trees) and no excavation shall be cut under the crown spread of the trees without the prior written permission of the Local Planning Authority.

Reason: In order to ensure bats and their habitats are suitably protected and to safeguard trees in the interest of visual amenity of the area consistent with Policy 7.21 of the London Plan 2016, Policy SP11 of the Haringey Local Plan 2017 and Policies DM1 and DM19 of The Development Management DPD (2017).

Waste storage delivered and made accessible

- 16) The waste storage shown on the approved plans shall be delivered and retained for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

On occupation of the development - the codes, keys, transponders or any other type of access equipment to the waste store shall be provided to the Council and access to the waste store shall remain unobstructed and within 10m from Ermine Road on collection day.

Reason: In order to ensure waste storage is suitably accessible and to comply with Policy DM4 of The Development Management DPD (2017).

Secured by Design

- 17) Prior to occupation of the development, details of full Secured by Design' Accreditation shall be submitted to and approved in writing by the Local Planning Authority. The details shall demonstrate consultation with the Metropolitan Police Designing Out Crime Officers. The development shall be carried out in accordance with the approved details and maintained thereafter for the lifetime of the development.

Reason: To ensure safe and secure development and reduce crime and to comply with Publication London Plan Policy D11 and DMDPD Policy DM2.

Culvert Protection

- 18) Prior to any above ground works, a ground penetrating radar (GPR) survey of the site and within 4m of the northern boundary shall be carried out to ascertain if the Stonebridge Brook (culvert) is located under or near to the site.

If the GPR survey finds the culvert under, or within 4m of, the site then no further development shall be carried out until a condition survey has been completed and a strategy put in place to protect the culvert. The strategy shall be submitted to and approved in writing by, the local planning authority (in consultation with the Environment Agency), and shall be implemented as approved. The strategy shall include the following components;

- Details of the location, depth, and structural condition of the culvert.
- Plans to repair any damage the culvert to ensure structural stability for the lifetime of the development.
- Details of how work would be carried out on site without damaging the structure, or impeding the function of, the culvert (including loading calculations).

If the GPR survey does not locate the culvert, then the results shall be shared with the EA and works can proceed in accordance with the other conditions of the permission.

Reason: To reduce the risk of flooding to the proposed development and future occupants, ensure the structural integrity of the existing flood defences and reduce the risk of flooding from blockages to any existing culvert in accordance with Policy DM28: Protecting and Enhancing Watercourses and Flood Defences.

Building colour

- 19) The external elevations to be used for the proposed modular units shall be a grey colour, with an orange front door and retained as such for the lifetime of the development unless otherwise agreed in writing by the Local Planning Authority.

Reason: In order to ensure a satisfactory appearance for the proposed development, to safeguard the visual amenity of neighbouring properties and the

appearance of the locality consistent with Policy 7.6 of the London Plan 2016, Policy SP11 of the Haringey Local Plan 2013 and Policy DM1 of The Development Management DPD 2017.

Louvred screening erected and retained

- 20) The louvred screening indicated on the approved plans shall be installed as shown on drawing number '109-08-PS-043 Rev. B' prior to occupation of Block A and retained for the lifetime of the development.

Reason: In order to ensure a satisfactory appearance for the proposed development, to safeguard the visual amenity of neighbouring properties and the appearance of the locality consistent with Policy 7.6 of the London Plan 2016, Policy SP11 of the Haringey Local Plan 2013 and Policy DM1 of The Development Management DPD 2017.

Informatives:

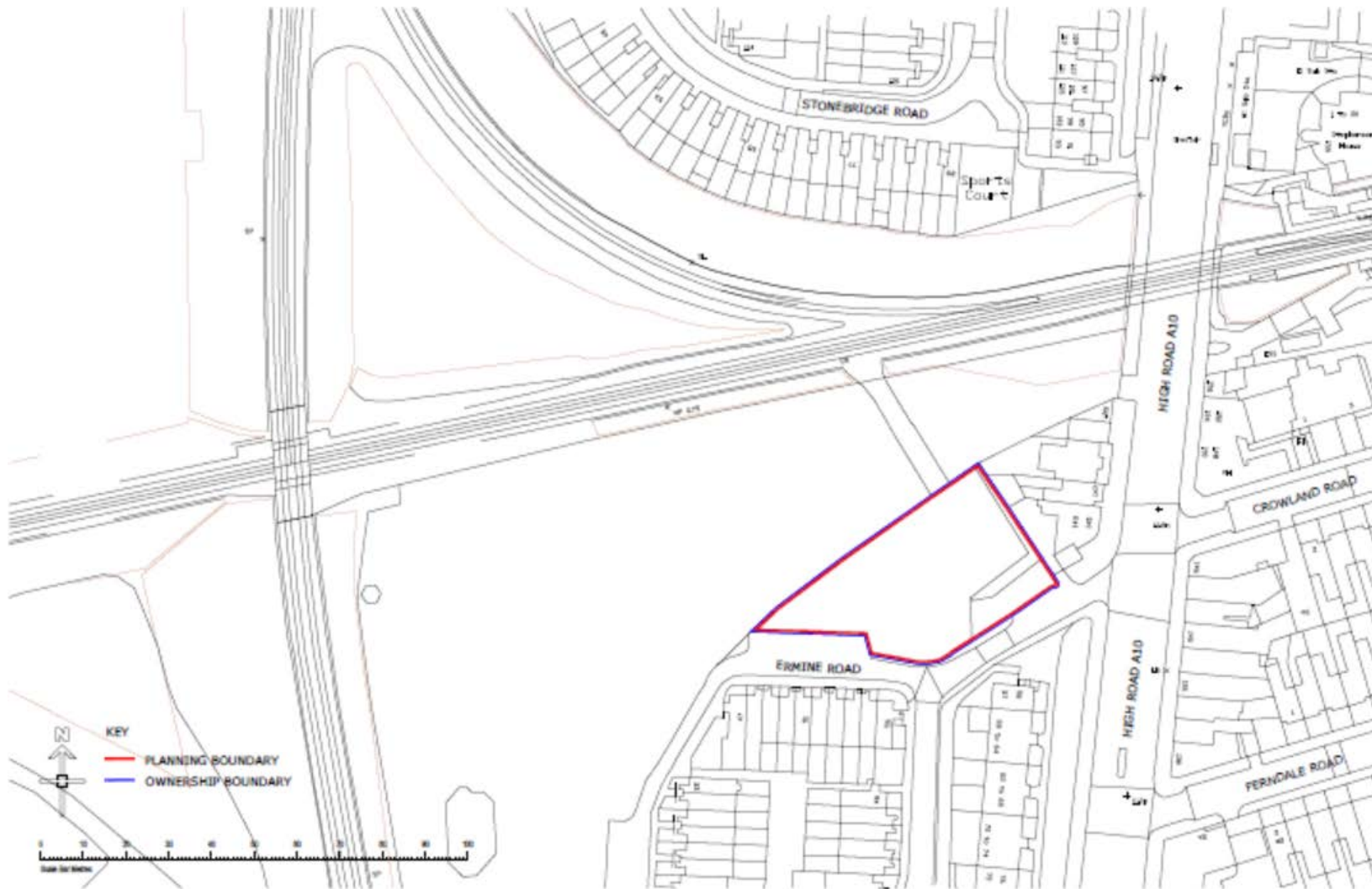
- 1) **INFORMATIVE :** In dealing with this application, Haringey Council has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) (Amendment No.2) Order 2012 to foster the delivery of sustainable development in a positive and proactive manner.
- 2) **INFORMATIVE : CIL**
Based on the information given on the plans, the Mayoral CIL charge will be £54,720 (912sqm x £60.55) and the Haringey CIL charge will be £19,061 (912sqm x £20.90). This would be charged in accordance with the CIL Charging Schedule and any eligible relief and includes indexation in line with the RICS CIL Index.
- 3) **INFORMATIVE : Hours of Construction Work:** The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-
 - 8.00am - 6.00pm Monday to Friday
 - 8.00am - 1.00pm Saturday
 - and not at all on Sundays and Bank Holidays.
- 4) **INFORMATIVE : Party Wall Act:** The applicant's attention is drawn to the Party Wall Act 1996 which sets out requirements for notice to be given to relevant adjoining owners of intended works on a shared wall, on a boundary or if excavations are to be carried out near a neighbouring building.
- 5) **INFORMATIVE :** The new development will require numbering. The applicant should contact the Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 5573) to arrange for the allocation of a suitable address.
- 6) **INFORMATIVE :** The London Fire Brigade strongly recommends that sprinklers are considered for new developments. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers, and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier.
- 7) **INFORMATIVE :** With regards to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water course, or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at

the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777.

- 8) INFORMATIVE : Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
- 9) INFORMATIVE : A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing trade.effluent@thameswater.co.uk . Application forms should be completed online via www.thameswater.co.uk. Please refer to the Wholesale; Business customers; Groundwater discharges section.
- 10) INFORMATIVE : The proposed development is located within 15 metres of Thames Waters underground assets and as such, the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures (<https://developers.thameswater.co.uk/Developing-a-large-site/Planning-yourdevelopment/Working-near-or-diverting-our-pipes>). Should you require further information please contact Thames Water. Email: developer.services@thameswater.co.uk Phone: 0800 009 3921 (Monday to Friday, 8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern Road, Reading, Berkshire RG1 8DB
- 11) INFORMATIVE : The applicant should be aware that the application site is identified as an Area of Surface Interest in the 2015 Crossrail 2 Safeguarding Directions. In the event of a decision to progress the Crossrail 2 project the land may be subject to compulsory purchase in order to provide a worksite for the future delivery of the Crossrail 2 scheme.
- 12) INFORMATIVE : The applicant must seek the continual advice of the Metropolitan Police Service Designing Out Crime Officers (DOCOs) to achieve accreditation. The services of MPS DOCOs are available Free of Charge and can be contacted via docomailbox.ne@met.police.uk or 0208 217 3813.

Appendix 2 Plans and Images

Location Plan



Site Plan



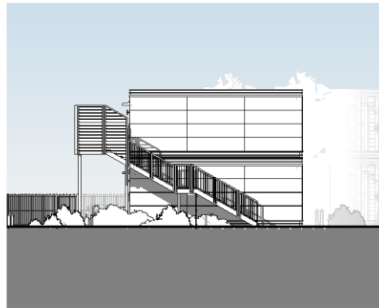
Indicative room layout



Block A Elevation



① **Block A Front Elvation / Ermine Rd Section**
1 : 100



② **Block A Right Elevation**
1 : 100



③ **Block A Rear Elevation**
1 : 100



④ **Block A Left Elevation**
1 : 100

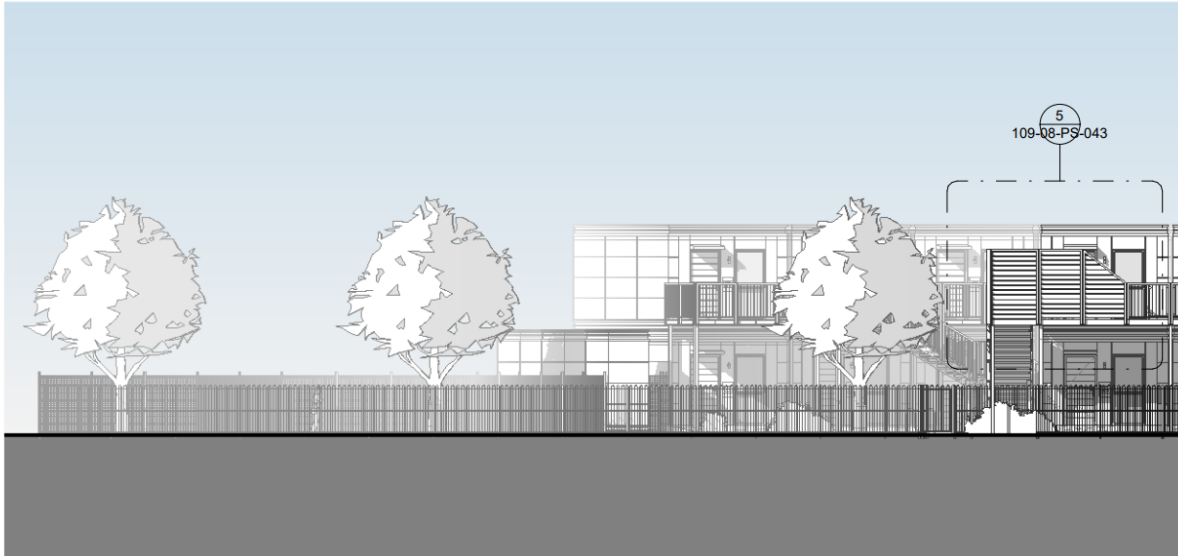


Block A Louver screening detail



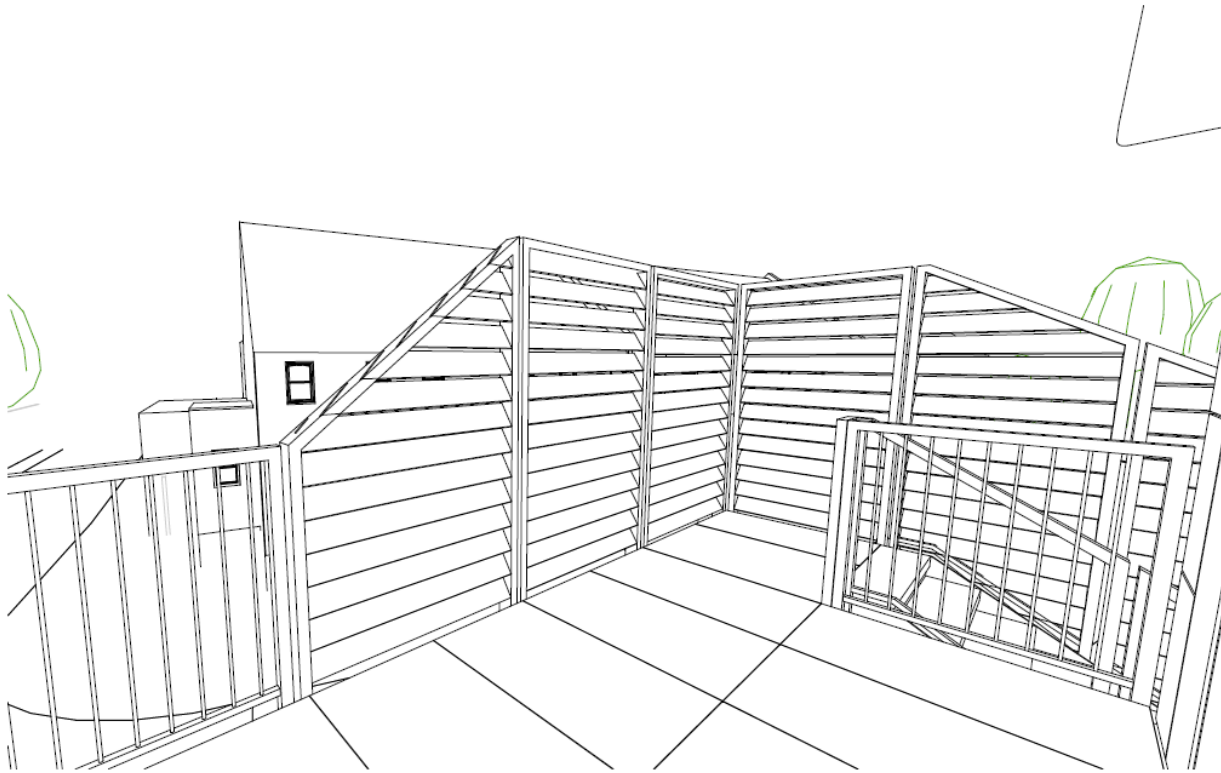
Louver Panel:
Frame to be steel to match walkway handrail
Louvers to be aluminium powder coated

5 Louver Panel Detail
1 : 50



1 Block A Front Elvation / Ermine Rd Section
1 : 100

View looking southwest from behind screening on platform access to upper storey of Block A

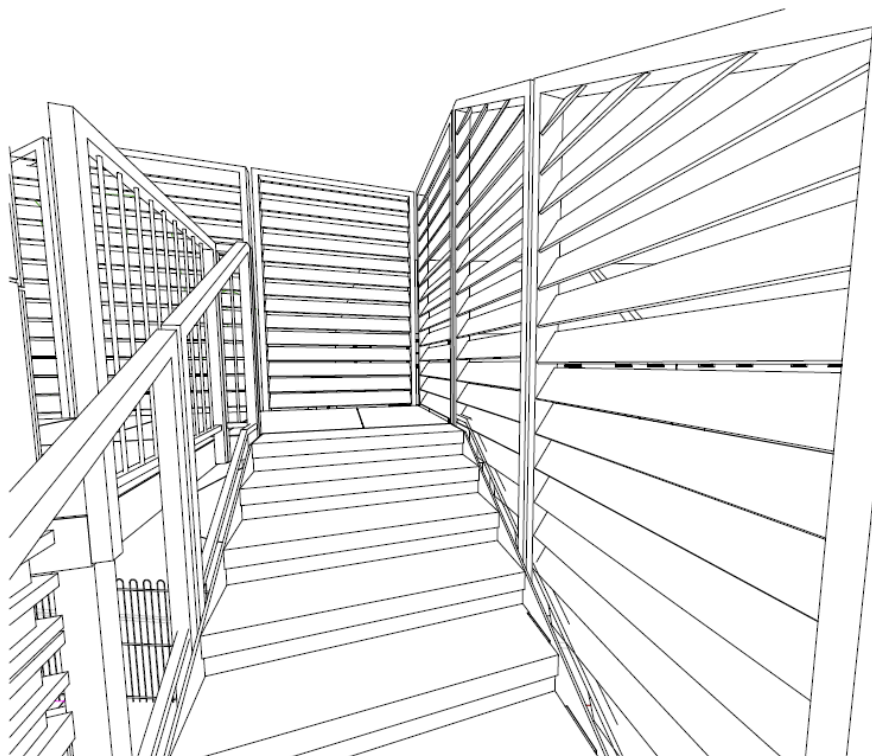


1 View 2



2 Site Layout - View 2

View looking south from behind screening on western stair access to upper storey of Block A



1

View 4



2

Site Layout - View 4

Render of view from Crowland Road / High Road – (Louvers not shown)



View from Ermine Road looking East (Louvers not shown)



View from Ermine Road looking North (Louvers not shown)



View from High Road looking northwest (Louvers not shown)



Appendix 3 Addendum to Report for Committee 11 January 2021

Planning Sub Committee 11 January 2021

ADDENDUM REPORT FOR ITEMS

UPDATE FOR CONSIDERATION AT PLANNING SUB-COMMITTEE Item No. 8

Reference No: HGY/2020/2794	Ward: Seven Sisters
Address: Land to the North of Ermine Road N15	
Proposal – Temporary planning permission for a period of 7 years to provide 38 modular units for use as accommodation for people who have been street homeless, with associated cycle and refuse storage.	
Applicant: Hill Residential	
Ownership: Council	

1. Description Correction

The description of development has been amended so that it reads as follows:

“Temporary planning permission for a period of 7 years to provide 38 modular ~~residential homes~~ **units** for use as accommodation for people who have been street homeless, with associated cycle and refuse storage.”

- There are 38 units but only 37 would be occupied as homes. 1 of the units would be used as a site office for staff.

2. Objections

- 6 additional objections have been received since the publication of the Officers report.
- The objections all raise concerns about a potential increase in antisocial behaviour because of the new residents and 1 objection also raised concerns about the appearance and size of the units and their siting.
- All these points have been raised previously and have been addressed in the report.

3. Fire Safety

- *The London Fire Brigade (LFB)* have responded to the additional plans provided to confirm that they are now satisfied with the proposals. (Date 7th January 2021 and attached in Appendix 1 below)

4. Environment Agency – Culvert Survey

- With reference to paras 6.10.6- 6.10.8
- The EA have recommended carrying out a ground penetrating radar (GPR) survey to see if the culvert can be located on the site itself or within 4m outside of the site along the northern boundary. The applicant has commissioned this survey and it will take place this week.
- If the survey method locates the culvert its depth would need to be established through a dig. Loading calculations would then need to be provided to show that the proposed development would have an undue impact the stability of the culvert.
- If the survey method fails to locate the culvert under the site, or within 4m of the northern boundary the EA would remove their objection. The EA have also recommended Condition 18 which reads as follows:
- This Condition is amended (additional wording in bold) as follows to ensure the survey is carried out and the advice above is followed where necessary:

Culvert protection

- 18) Prior to any above ground works, a ground penetrating radar (GPR) survey of the site and within 4m of the northern boundary shall be carried out to ascertain if the Stonebridge Brook (culvert) is located under or near to the site.

If the GPR survey finds the culvert under, or within 4m of, the site then no further development shall be carried out until a condition survey has been completed and a strategy put in place to protect the culvert. The strategy shall be submitted to and approved in writing by, the local planning authority (in consultation with the Environment Agency), and shall be implemented as approved. The strategy shall include the following components;

- Details of the location, depth, and structural condition of the culvert.
- Plans to repair any damage the culvert to ensure structural stability for the lifetime of the development.
- Details of how work would be carried out on site without damaging the structure, or impeding the function of, the culvert (including loading calculations).

If the GPR survey does not locate the culvert, then the results shall be shared with the EA and works can proceed in accordance with the other conditions of the permission.

Reason: To reduce the risk of flooding to the proposed development and future occupants, ensure the structural integrity of the existing flood defences and reduce the risk of flooding from blockages to any existing culvert in accordance with Policy DM28: Protecting and Enhancing Watercourses and Flood Defences.

Appendix 1



Fire Safety Regulation, North West 4 Team
169 Union Street London SE1 0LL
T 020 8555 1200 x89171

Minicom 020 7960 3629
london-fire.gov.uk

Private & Confidential
Philip Elliott
Principal Planning Officer
Haringey Council
Planning Service, Level 6,
River Park House,
225 High Road,
Wood Green,
N22 8HQ

London Fire and Emergency Planning
Authority runs the London Fire Brigade

Date 7th January 2021
Our Ref
Your Ref HCY/2020/2794

Dear Sir/Madam

RECORD OF CONSULTATION/ADVICE GIVEN

TOWN AND COUNTRY PLANNING ACT

SCOPE OF WORKS: 3 Blocks Of 2-Storey Modular Homes To Provide Accommodation For
People Who Have Been Homeless
PREMISES Land to the North of Ermine Rd
PLAN NUMBER(S) (if any): ERH-109-08-PS-014 & 015

The London Fire Commissioner (the Commissioner) is the fire and rescue authority for London. The Commissioner is responsible for enforcing the Regulatory Reform (Fire Safety) Order 2005 (The Order) in London.

The Commissioner has been consulted with regard to the above-mentioned premises and makes the following observations:

The Commissioner is satisfied with the proposals with the fire fighting access only

This Authority strongly recommends that sprinklers are considered for new developments and major alterations to existing premises, particularly where the proposals relate to schools and care homes. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers, and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier. Please note that it is our policy to regularly advise our elected Members about how many cases there have been where we have recommended sprinklers and what the outcomes of those recommendations were. These quarterly reports to our Members are public documents which are available on our website.

Any queries regarding this letter should be addressed to FSR-AdminSupport@london-fire.gov.uk. If you are dissatisfied in any way with the response given, please ask to speak to the Team Leader quoting our reference.

Yours faithfully,

FS_D_01 (Rev 23, 10/03/2016)

Page 1 of 2

Assistant Commissioner (Fire Safety Regulation)

Reply to M Howlin
Direct T 0208 555 1200 Ext. 89170

Appendix 4 Committee Report for 11 January 2021

Within separate document.

Planning Sub Committee

Item No.

REPORT FOR CONSIDERATION AT PLANNING SUB-COMMITTEE

1. APPLICATION DETAILS

Reference No: HGY/2020/2794

Ward: Seven Sisters

Address: Land to the North of Ermine Road N15

Proposal: Temporary planning permission for a period of 7 years to provide 38 modular residential homes for use as accommodation for people who have been street homeless, with associated cycle and refuse storage.

Applicant: Hill Residential

Ownership: Council

Case Officer Contact: Philip Elliott

Site Visit Date:

Date received: 06/11/2020 **Last amended date:** 21/12/2020

1.1 This application has been reported to Planning Sub Committee as it is a major application on Council owned land, and significant material planning objections have been received during the consultation process.

1.2 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- There is a significant need for homeless accommodation in Haringey, and this proposal provides 37 units of temporary accommodation specifically designed to meet the needs of people who have experienced homelessness. It would improve the life expectancy of residents and reduce the financial costs of temporary accommodation to the Council.
- The proposal would provide much needed temporary accommodation for 37 Haringey residents that have experienced homelessness;
- The modular construction enables the proposed homes to be built quickly so that interventions can be made as soon as possible to help those in need;
- The proposal would make a positive contribution to Ermine Road, improving the character of this vacant site.
- The proposed development would preserve the setting of the nearby Seven Sisters/Page Green Conservation Area and would have an acceptable appearance from within the Conservation Area and the locally listed Dutch House.

- There would be no material impact on parking in the area. Impacts on nearby properties would be suitably mitigated.

2. RECOMMENDATION

- 2.1 That the Committee resolve to GRANT planning permission and that the Head of Development Management is authorised to issue the planning permission and impose conditions and informatives

Conditions (the full text of recommended conditions is contained in Appendix 1 of this report)

- 1) Temporary Permission
- 2) Approved Plans
- 3) Materials as indicated on approved plans
- 4) No Parking Permits for New Residents
- 5) All Parking Delivered as Approved
- 6) Construction Management/Logistics Plan
- 7) Energy Strategy
- 8) Carbon Offset Contribution
- 9) Land Contamination
- 10) Unexpected Contamination
- 11) CEMP
- 12) Drainage / Flooding (FRA)
- 13) Provision & Retention of SuDS
- 14) No Light Spill into SINC (Bats)
- 15) Tree protection (SINC/Bats)
- 16) Waste storage delivered and made accessible
- 17) Secured by Design
- 18) Culvert Protection

Informatives

- 1) Co-operation
- 2) CIL liable
- 3) Hours of construction
- 4) Party Wall Act
- 5) Street Numbering
- 6) LFB
- 7) Thames Water Surface drainage
- 8) Thames Water Pressure
- 9) Thames Water Groundwater Risk Management Permit
- 10) Thames Water Within 15m
- 11) Crossrail 2 Safeguarding
- 12) Designing Out Crime

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- 3) PROPOSED DEVELOPMENT AND SITE LOCATION DETAILS
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Appendix 3	Consultation Responses – Internal and External Consultees
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3.0 PROPOSED DEVELOPMENT AND LOCATION DETAILS

3.1 Proposed development

- 3.1.1. Planning permission is sought for three (3) two-storey modular buildings (Blocks A, B, & C) to provide 37 supported homes for people who have been street homeless and require a period of stabilisation and support; and one (1) ancillary office for a member of staff. There would be 9 homes in Block A and 1 office, 16 homes in Block B, and 12 homes in Block C.
- 3.1.2. The proposal would be delivered by Hill Residential Limited, a large housebuilder that builds around 2,000 homes a year, including more than 1,000 for clients and partners in the affordable housing sector. The proposal is part of a programme by the Hill Group Foundation to provide 200 modular homes for people who have been street homeless over the next five years, targeting smaller sites with easy access to a city centre where homes can be managed and monitored easily by their selected charity partners.
- 3.1.3. The proposal has been developed between the Council, a wide range of statutory and voluntary partners in the borough, and The Hill Group Foundation. The development would offer strengths-based support and trauma-informed care to enable people to move on with their lives after a period of homelessness.
- 3.1.4. The proposal seeks a temporary permission for 7 years until such time as there is greater clarity on the future of the site which is safeguarded for Crossrail 2.

3.2. Site and Surroundings

- 3.2.1. The site is a parcel of land currently laid to hardstanding to the north side of Ermine Road and to the west of Tottenham High Road. The site sits within the Seven Sisters neighbourhood of Tottenham and is at the southern end of the Tottenham Area Action Plan area, set for long-term regeneration with thousands of new homes, better access to jobs and employment, and improved transport links.
- 3.2.2. To the south of the site is Ermine Road, characterised by two to three storey residential post war terraced houses. To the north east of the site on the east side of the High Road (approx. 35m) is the southern boundary of the Seven Sisters/Page Green Conservation Area. The nearest locally listed buildings are within this conservation area and include the locally listed Dutch House (on the corner of High Road / Crowland Road).
- 3.2.3. The site is bound to the north and west by green open space, designated as an Ecological Corridor (Seven Sisters east/west link) & a Site of Importance for Nature Conservation (SINC) Grade II [Tottenham Railsides] that surrounds nearby

railway lines. The site is designated as an Area of Surface Interest in the 2015 Crossrail 2 Safeguarding Direction to provide a worksite for the future delivery of the Crossrail 2 scheme.

- 3.2.4. To the east is a block with commercial on the ground floor and two storeys of residential above, beyond this is the High Road (A10) a principle A-road, providing north and south routes towards Central London and the North Circular (A406). The site sits between these commercial properties facing Tottenham High Road to the east, the Ermine Road estate (1970s council housing) to the south, and the Ermine Triangle green space to the north-west.
- 3.2.5. Ermine Road contains Cycle Superhighway 1 and although the road can be accessed by vehicles from the High Road, bollards prevent vehicles travelling beyond the western elevation of the building to the south of Ermine Road (which faces onto High Road to the east).
- 3.2.6. The site and the whole surrounding area falls within a critical drainage area (CDA). Historically the Stonebridge Brook could be found to the north/northeast of the site. This main river was historically culverted and is located at least 8m away from the northeast (rear) boundary of the site.
- 3.2.7. It is understood that the site is an area of leftover land originally intended, when the railways were built for a connecting rail loop between two crossing railways (both now parts of the London Overground passenger network); the Liverpool Street to Enfield Town line and the Gospel Oak to Barking line but this was never built and is no longer necessary

3.3 Relevant Planning and Enforcement history

- There is no relevant planning or enforcement history.

4. CONSULTATION RESPONSE

4.1. Application Consultation

4.1.1. The following were consulted regarding the application:

- The following responses were received (Below is a summary of the received comments. Some responses have been received that are more comprehensive than what is shown below – these responses are shown in more detail in Appendix 3):

Internal:

1) Design

- *It provides an exemplary example of modular building design, in a form that is of gentle density and appearance – which is compatible with the varied but mostly residential context.*
- *There would be a secure, safe, and clearly defined boundary and definition of public, private communal, and private space, with active street frontage.*
- *Green landscaping proposed for the site will soften its appearance and be compatible with the neighbouring site of nature importance.*

2) Conservation

- *The proposed development would not have a negative impact on the significance of the conservation area and associated heritage assets, including the locally listed Dutch House.*

3) Transportation

- *The transport demands of this specialist form of housing is expected to be different from conventional housing. Flexibility could be exercised in provision for car parking and for servicing and deliveries.*
- *Conditions requiring a Construction Management/Logistics Plan (CMP/CLP); and a Delivery and Servicing Management Plan are recommended; as well as a s106 / s278 agreement for any highway works – to:*
 - *restrict occupiers from obtaining CPZ parking permits,*
 - *identify where the highway may be affected by proposals,*
 - *relocate / remove existing bollards,*
 - *allow for highway improvements / reinstatement of kerb over redundant crossovers, and*
 - *provide a public footway along the site frontage, in consultation with TfL.*

4) Carbon Management (Energy, offset, overheating, sustainability)

- *No objection subject to the development being constructed in strict accordance with the Carbon Reduction Statement, Technical Information Report, and Overheating Study; and subject to a carbon offset contribution of £7,454.65 being paid.*

5) Carbon Management (Pollution – Contamination & Air Quality)

- *No objection to the development in relation to Air Quality and Land Contamination but conditions relating to Land Contamination, Unexpected Contamination, & a Construction Environmental Management Plan (CEMP) are recommended should planning permission be granted.*

6) Nature Conservation / Ecology

- *The report and mitigating measures proposed are acceptable and should be conditioned into the development.*

7) Waste

- *This proposal will need 5 x 1100L waste receptacles for refuse and 3 x 1100L waste receptacles for dry recycling. Waste containers must be located no further than 10 metres from the point of collection.*

8) Lead Local Flood Authority (LLFA) - Drainage / Flooding (SuDS)

- *The LLFA are happy for the proposal to proceed at this stage subject to additional information about water network connection approval and delivery of SuDS solutions that are managed and maintained effectively for the lifetime for the development.*

9) Noise ASB

- *No response to date.*

10) Building Control

- *No response to date.*

External:

11) Environment Agency (EA)

- *The EA have reason to believe the site is within 3 metres of a culverted main river, the Stonebridge Brook, and have raised an objection given this close proximity. [Officer Note: a survey has been conducted which has not located the culvert. Further information will be provided in an addendum report. A condition is also recommended (no.18)].*

12) London Fire Brigade (LFB)

- *The Commissioner is not satisfied with the proposals for fire fighting access as the plans do not confirm if it would be possible to get to within 45 meters of fire hose length to the farthest room on the farthest block. [Officer Note: a further plan has been produced to seek to satisfy this concern. Further information will be provided in an addendum report].*

13) Designing Out Crime Officer - Metropolitan Police Service

- *The drawings take our concerns into consideration and provide a safer environment for the residents of the development to enjoy as well as the wider area. I cannot see any reason why the development cannot achieve accreditation according to SBD guidelines.*

14) Transport for London (TfL)

- *TfL have no objections to the proposal; they require further information on cycle parking and require a Construction Management/Logistics Plan (CMP/CLP) to be submitted.*

15) Thames Water

- *No objection regarding waste water network and sewage treatment works infrastructure capacity, based on the information provided; & No objection with regard to water network and water treatment infrastructure capacity.*

16) **GLAAS**

- *The proposal is unlikely to have a significant effect on heritage assets of archaeological interest. No further assessment or conditions are therefore necessary.*

17) **Natural England**

- *Natural England has no comment on this application with regards to designated sites.*

18) **Network Rail**

- *Network Rail have no objections to the proposals.*

19) **London Overground**

- *London Overground Infrastructure had no comments on the proposals.*

20) **Crossrail 2 (Safeguarding Direction)**

- *The site is an Area of Surface Interest in the 2015 Crossrail 2 Safeguarding Directions. In the event of a decision to progress the Crossrail 2 project the land may be subject to compulsory purchase to provide a worksite for the future delivery of the Crossrail 2 scheme.*

5. LOCAL REPRESENTATIONS

5.1 The following were consulted:

- 206 Neighbouring properties
- Ermine Road Residents Association
- 3 site notices were erected close to the site

5.2 The number of representations received from neighbours, local groups etc in response to notification and publicity of the application were as follows:

- Number of individual responses:

- Objecting: 59
- Supporting: 1 (Summarised as - *Homeless people need somewhere to live*)
- Others: A petition against the proposal was received which indicates that residents from 54 local households wish to object to the proposals. It is understood that some of the signatories wish to remain anonymous, so their names and addresses were not displayed on the public register. Anonymous

objections are generally considered to have less weight than those where names and addresses are provided.

5.3 The following local groups/societies made representations:

- No representations received from local groups/societies

5.4 The following Councillor made representations:

- Councillor Barbara Blake:
 - Residents who live near this site are concerned that there could be an increase in anti-social behaviour.
 - There appears to be no specific plan in place to ensure this does not happen other than the existing structures which are overstretched.
 - There is little confidence that the site will be managed well in terms of general maintenance - landscaping, refuse collection, car parking but also managing the day to day needs of vulnerable people who live in these units.
 - Very vulnerable people will be housed here yet there seems to be very little in the way of facilities.
 - Residents are also concerned about the proximity of the units and that some of them will be overlooked.

5.5 The issues raised in representations that are material to the determination of the application are set out in Appendix 4 and summarised as follows:

- **Potential for an increase in crime** (antisocial behaviour)
- **Noise & disturbance**
- **Impact on neighbouring amenity & parking**
 - light pollution; overshadowing; overlooking; and privacy
 - waste management
- **Design**
 - The orange colouring would be obtrusive
- **Scale/no. of units and the size of the units**
 - Too many units/people
 - The units are too small

5.6 The following issues raised are not material planning considerations:

- Loss of a private view (This is a private matter and therefore not a material planning consideration)
- Impact on property values (This is a private matter and therefore not a material planning consideration)

6 MATERIAL PLANNING CONSIDERATIONS

6.1 The main planning issues raised by the proposed development are:

1. Principle of the development
2. Impact on the amenity of adjoining occupiers
3. Character and appearance and setting of the nearby conservation area
4. Design & Secured by Design
5. Quality of Residential Accommodation
6. Parking and highway safety
7. Energy and Climate Change
8. Pollution – Air quality & contamination
9. Flood risk & Drainage
10. The impact on the adjacent ecological asset
11. Waste & recycling

6.2 Principle of the development

Policy Background

6.2.1 The National Planning Policy Framework NPPF was updated in July 2018 and minor clarifications to the revised version were published in February 2019. The NPPF establishes the overarching principles of the planning system, including the requirement of the system to “drive and support development” through the local development plan process.

The Development Plan

6.2.2 For the purposes of S38(6) of the Planning and Compulsory Purchase Act 2004 the Local Plan comprises the Strategic Policies Development Plan Document (DPD), Development Management Policies DPD and Tottenham Area Action Plan (AAP) and the London Plan (2016).

The London Plan

6.2.3 The London Plan is the overall strategic plan for London, setting out an integrated economic, environmental, transport and social framework for the development of London over the next 20–25 years. The consolidated London Plan (2016) sets several objectives for development through various policies. The policies in the London Plan are accompanied by a suite of Supplementary Planning Guidance (SPGs) that provide further guidance.

6.2.4 In December 2019, the Mayor published an ‘Intend to Publish London Plan’. On 13 March 2020 & 10 December 2020, the Secretary of State issued Directions to change several proposed policies. In response to the latest direction the Mayor has formally approved a new London Plan, the ‘**Publication London Plan**’. The Publication London Plan has been sent to the Secretary of State for his consideration.

- 6.2.5 In line with paragraph 48 of the NPPF, the weight attached to this Plan should reflect the stage of its preparation; the extent to which there are unresolved objections to relevant policies; and the degree of consistency of the relevant policies in the emerging Plan to the NPPF.
- 6.2.6 Whilst the published London Plan (2016) remains part of Haringey's Development Plan, given the advanced stage that the Publication London Plan has reached, significant weight can be attached to it in the determination of planning applications (although there is greater uncertainty about those draft policies that are subject to the Secretary of State's Direction).

The Local Plan

- 6.2.7 The Strategic Policies DPD sets out the long-term vision of how Haringey, and the places within it, should develop by 2026 and sets out the Council's spatial strategy for achieving that vision. The Site Allocations development plan document (DPD) and Tottenham Area Action Plan (AAP) give effect to the spatial strategy by allocating sufficient sites to accommodate development needs.

Tottenham Area Action Plan (AAP)

- 6.2.8 The Tottenham AAP sets out a strategy for how growth will be managed to ensure the best quality of life for existing and future Tottenham residents, workers, and visitors. The plan sets area wide, neighbourhood and site-specific allocations.
- 6.2.9 The AAP indicates that development and regeneration within Tottenham will be targeted at four specific neighbourhood areas including Seven Sisters where this site is located.
- 6.2.10 Development proposals incorporating a housing element will be expected to provide the housing in accordance with the minimum capacities, set out in the Site Allocations in this AAP. Higher densities and capacities may be acceptable in appropriate locations, close to town centres, in areas with good local facilities and amenities and in areas well served by public transport, providing the other policies of this AAP and Haringey's Local Plan are not compromised. The application site meets the four listed criteria above.

Housing

- 6.2.11 To improve the diversity and choice of homes and to support sustainable communities in Tottenham, the Council will seek the delivery of 10,000 additional new homes across the Tottenham AAP area to meet housing needs, contribute to inclusive and mixed communities and to improve the quality of homes.

Assessment of the proposal

- 6.2.12 In Haringey, and across London, levels of homelessness and rough sleeping are unacceptably high. Emerging Policy H12 of the Publication London Plan notes that the delivery of supported and specialised housing for rough sleepers should be supported in principle.
- 6.2.13 The Council is committed to reducing homelessness and rough sleeping. There is not enough social housing to meet demand from homeless people, and the increasing reliance on the private rented sector to offer solutions is costly and often provides unsatisfactory and unsuitable housing.
- 6.2.14 The Haringey Local Plan (DMDPD) recognised that secured accommodation can provide suitable temporary accommodation subject to appropriate management and safeguards and can help integrate vulnerable people into the community.
- 6.2.15 Homelessness is the symptom of a complex interaction between a person's specific situation and a range of structural and social factors that are often beyond their control. To successfully tackle homelessness, the Council must increase the supply of accommodation available and meet the needs of those already in temporary accommodation.
- 6.2.16 This proposal would deliver an ongoing reduction in rough sleeping and address the multiple harms it brings to individuals and communities. The proposed modular construction would enable a rapid delivery to offer a route off the street/out of unsuitable and expensive accommodation for Haringey residents. It would improve health, wellbeing and resilience and tackle street activity associated with rough sleeping.
- 6.2.17 There is strong Policy support for purpose built affordable housing to meet specific needs. Strategic Policy SP2 (Housing) of Haringey's Local Plan aims to provide high quality new residential development in Haringey by maximising housing for people whose circumstances makes them vulnerable and/or people with specific needs.
- 6.2.18 The site is a brownfield site within a residential area so there is policy support for residential development on the site.
- 6.2.19 Policy H12 Supported and specialised accommodation of the Publication London Plan states that the delivery of supported and specialised housing which meets an identified need should be supported. It goes on to state that the form this takes will vary, and it should be designed to satisfy the requirements of the specific use or group it is intended for. It then goes on to list what Supported and specialised accommodation could include. The list includes:
- accommodation for people leaving hostels, refuges, and other supported housing to enable them to live independently
 - accommodation for rough sleepers.

6.2.20 Paragraph 4.12.2 of the Publication London Plan notes that Supported and specialised accommodation can include accommodation that incorporates support for a particular group, sometimes until they are ready to move on. The proposed development would seek to do this.

6.2.21 Policy DM15: Specialist Housing of the Development Management DPD (DMDPD) supports proposals for new special needs housing. It sets out the criteria for considering special needs housing, which must show that:

- a) There is an established local need for the form of special needs housing sought having regard also to the aims and recommendations of Haringey's Housing Strategy and Older People Strategy;*
- b) The standard of housing and facilities are suitable for the intended occupiers in terms of:*
 - i. The provision of appropriate amenity space, parking, and servicing;*
 - ii. The level of independence; and*
 - iii. Level of supervision, management, and care/support;*
- c) There is a good level of accessibility to public transport, shops, services, and community facilities appropriate to the needs of the intended occupiers; and*
- d) The impact of the proposed development would not be detrimental to the amenity of the local area or to local services.*

6.2.22 Each of these requirements is considered below.

a) Established Local Need

6.2.23 Haringey's Homelessness strategy (2018) notes that homelessness is a problem that affects Haringey particularly severely; with the second highest level of homelessness in the country it advocates a radical new approach to reduce the multiple harms that homelessness causes. The strategy is a material consideration.

6.2.24 It notes that rough sleeping is the most visible form of homelessness and the most damaging. It causes significant harm to individual physical and mental health, and general wellbeing and reduced life expectancy. A female sleeping on the streets has a life expectancy of 43 years and a male 47 years, the UK national average is approximately 83 years for females and 79 years for males.

6.2.25 There is a significant need within Haringey for supported housing for people who have been street homeless and require a period of stabilisation and support to regain their confidence, health, and independence. Haringey's Housing Strategy

2017-2022 (HS) notes (pg18) that it will seek to provide suitable and affordable temporary accommodation, while overall reducing its cost.

6.2.26 Like many other boroughs, Haringey Council finds it increasingly difficult to secure good quality, sustainable, and affordable temporary accommodation. Competition for private rented homes has driven up prices while the council is dealing with rising levels of homelessness meaning households spend longer in temporary accommodation.

6.2.27 The proposed development has been designed using relationships and expertise developed between the Council and a wide range of statutory and voluntary partners within Haringey. The service proposes to offer strengths-based support and trauma-informed care to enable people to move on with their lives after a period of homelessness.

6.2.28 This is in line with the approach advocated in the HS under section 6.2 (Taking new approaches to temporary accommodation) which states that in order for the Council to secure good quality, sustainable and affordable temporary accommodation they will:

- Forge new partnerships with investors offering long term investment to provide affordable, good quality, secure homes to help homeless households as well as additional, cheaper temporary accommodation.
- Maximise the supply of affordable high quality temporary accommodation inside the borough.
- Use innovative solutions, for example Modern Methods of Construction, for rapid provision of homes on sites suited to this use.

6.2.29 The proposal meets the preference of the HS (pg20) to provide temporary accommodation within Haringey. It is very difficult to secure the volume of homes needed at a cost that is affordable for the resident and will not require additional subsidy by the council. The method of construction also allows this to be delivered at the earliest opportunity.

6.2.30 The proposal would enable the Council to address the damage rough sleeping has had on the physical and mental health, and general wellbeing of Haringey residents that have been street homeless. It would help to provide coordinated shelter and support to increase life expectancies and break the cycle of suffering that the people affected can experience.

b) Standard of Housing

6.2.31 The proposal has been devised by those that deliver this type of supported housing for people who have been street homeless, as well as by former and prospective service users themselves.

- 6.2.32 It has been designed to meet the specific needs of residents through homes that provide an appropriate level of independence, supervision, management, and care/support to enable a period of stabilisation in combination with strengths-based support and trauma-informed care to enable the residents to move on with their lives after a period of homelessness.
- 6.2.33 The proposal provides housing and support in one location, within Haringey, which engenders a solution that is likely to have better outcomes for the occupants at a lower cost than alternative temporary housing solutions that are available which is in line with the Council's Housing Strategy (2018) .
- 6.2.34 The proposed homes would be 24sqm which is smaller than the 37sqm recommended for a 1-bed flat with a shower room in the Technical housing standards produced by the Department for Communities and Local Government. They have been designed as specialist housing for temporary accommodation to support people who have been street homeless at a low cost.
- 6.2.35 The homes have been designed to be large enough to enable a good quality home for people that have experienced homelessness, while ensuring residents can manage the home and are not vulnerable to exploitation through 'cuckooing' (a practice where people take over a person's home and use the property to facilitate exploitation).
- 6.2.36 As such, the shortfall is considered acceptable in this instance, for it to provide specialist housing in a short time and at a low cost - to address a significant housing need. The residential quality is assessed in more detail in the residential amenity section below. This does not set a precedent for smaller self-contained flats in the borough as weight has been given to the very-specific circumstances of this case.

c) Accessibility to public transport, shops, services, and community facilities

- 6.2.37 The site has a high level of accessibility to public transport with a PTAL 6a one of the highest possible due to proximity to South Tottenham Station, Seven Sisters Underground Station, and numerous bus routes on the High Road. It is also close to Cycle Superhighway 1 which runs along Ermine Road. The site is in a location well served by shops, services, and community facilities – being on Tottenham High Road.

d) Impact on amenity of the local area or to services

- 6.2.38 The proposal would not be detrimental to the amenity of the area as set out in detail in the following sections of the report. It is on a vacant site within a residential area which has issues with fly tipping, illegal occupation, and antisocial behaviour. The proposal is relatively modest in scale so would not impact on neighbouring residents.

- 6.2.39 The proposal would not have a detrimental impact on local services – the residents would have access to on-site strengths-based support and trauma-informed care during the day and a concierge at night; residents would largely be supported within the site.

Crossrail 2 Safeguarding

- 6.2.40 The London Plan (2016) Policy 6.4 states that the Mayor will work with strategic partners to improve the public transport system in London and increase public transport capacity by developing Crossrail 2. This commitment is carried into the Publication London Plan Policy T3 which states that in development decisions, particular priority should be given to securing and supporting the delivery of Crossrail 2. The site is designated as an Area of Surface Interest in the 2015 Crossrail 2 Safeguarding Direction to provide a worksite for construction. The proposal is for a period year permission for the buildings. Due to their modular construction they are demountable and can be moved to another site in future if the site is required for the delivery of Crossrail 2.
- 6.2.41 TFL raise no objections. The proposal would therefore not hinder the delivery of Crossrail 2 and makes use of the site for housing in the interim before Crossrail is delivered.

6.3 Impact on the amenity of adjoining occupiers

- 6.3.1 The London Plan (2016) Policy 7.6 Architecture states that development must not cause unacceptable harm to the amenity of surrounding land and buildings. Publication London Plan Policy D3 Optimising site capacity through the designed approach states that the experience of development proposals should deliver appropriate outlook, privacy, and amenity; and achieve safe, secure and inclusive environments.
- 6.3.2 DMDPD Policy (2017) DM1 ‘Delivering High Quality Design’ states that development proposals must ensure a high standard of privacy and amenity for the development’s users and neighbours.

Fear of crime

- 6.3.3 Several concerns have been raised by local residents in relation to a potential increase in crime from the new residents. All occupants would be referred to the service using a robust referral process, led by the Haringey Street Outreach Team and the Council’s Homelessness Pathway Team.
- 6.3.4 There would be no direct access to the service without a prior referral and assessment of suitability. This ensures that vulnerabilities and support needs are

explored with each person before they move in. This approach ensures the safety of the occupants as well as that of others.

- 6.3.5 The site design is intended to reduce opportunities for anti-social behaviour by creating a well-lit and visible environment with appropriate but not invasive CCTV. There would always be a member of staff on site. This would be a support worker in the daytime and a concierge at night. The staff office is positioned with good visibility across the site which would enable the management of visitors to the site at all times.
- 6.3.6 The scheme has also been reviewed by a Designing out Crime Officer at the Metropolitan Police who considers the development can achieve accreditation according to Secured by Design (SBD) guidelines. A number of the SBD Officer's recommendations have been discussed with the applicant. These include specific boundary / fencing requirements; removal of non-transparent panels on external stair landings (for natural surveillance); enclosure of space under stairwells (to prevent loitering); CCTV; lighting; and a postal strategy (to discourage unsolicited visits and postal theft).

Noise & disturbance

- 6.3.7 Objections have also been made relating to concerns that there would be an increase in noise and disturbance from the new occupants. As with the concerns relating to a potential increase in crime, there would always be a member of staff present who could deal with any issues in this regard.

Light spill

- 6.3.8 Concerns have been raised about light spillage and light pollution from the development. The site is opposite a residential area that is near to Tottenham High Road. There are several street lamps in the vicinity of the site and although there would be lighting in the scheme, this would be commensurate with what is in the locality and, as such, would not result in a material change that would result in harm to the amenity of nearby residents.

Impact on views from neighbouring buildings

- 6.3.9 Given the low height of the buildings and their siting and orientation away from neighbouring properties, there would be no overshadowing of adjacent properties. The closest block to properties on Ermine Road (Block A) would be largely face the highway and would appear as an obtrusive feature when viewed from nearby neighbouring properties.
- 6.3.10 The low height and siting of the buildings within the site would mean that they would not have an overbearing presence on nearby neighbouring properties and would not result in an undue sense of enclosure.

Privacy

6.3.11 The orientation of the buildings would limit overlooking from the site. Block C is orientated so that it faces west, and Block B is located at the back of the site behind Block A. Block A would be the closest block to the existing properties to the south of Ermine Road. However, the distance between these properties would be commensurate with the character of the locality.

6.3.12 Block A would comprise a total of 10 units with 5 at ground floor and 5 above. 1 of the units would be the site office. Block A would be set back from the site boundary and would be orientated towards the southeast – facing the T-junction in this part of Ermine Road.

6.3.13 Block A would not directly face the properties to the south of Ermine Road and given the distances between them (approx. 12m), the level of overlooking would be commensurate with the character of the locality. The proposed units also have relatively modest windows and given the siting and orientation; the privacy of existing residents would not be adversely affected to a material degree by the proposal.

6.4 Character and appearance and setting of the nearby conservation area

6.4.1 London Plan Policy 7.8 and Policy HC1 of the Publication London Plan requires development affecting heritage assets and their settings to conserve their significance by being sympathetic to their form, scale, and architectural detail.

6.4.2 Policy SP12 ‘Conservation’ states that the Council shall ensure the conservation of the historic significance of Haringey’s heritage assets, their setting, and the wider historic environment. The policy states that the Historic Environment should be used as the basis for heritage-led regeneration and as the basis for good design and positive change and, where possible, development should help increase accessibility to the historic environment.

6.4.3 DMDPD Policy DM9 ‘Management of the Historic Environment’ states that development which conserves or enhances the significance of a heritage asset and its setting will be supported. Proposals affecting a designated or non-designated heritage asset and its setting will be assessed against the significance of the asset and its setting, and the impact of the proposals on that significance.

6.4.4 The proposed development falls within the setting of the Seven Sisters/Page Green Conservation Area. A rendered image has been submitted which shows the proposed development from the corner of Crowland Road and the High Road, opposite (south) of the locally listed Dutch House and just outside the Conservation Area.

6.4.5 The proposed development would only be partially visible from the southernmost part of the Conservation Area, as it would be mostly screened by the terrace on

the western side of the High Road. Due to its modest mass and scale, it would be consistent with the surrounding townscape and would not detract from it.

- 6.4.6 Therefore, the proposed development would not result in material harm to the significance of the Conservation Area and associated heritage assets, including the locally listed Dutch House.
- 6.4.7 The Conservation Officer has noted that it would be desirable for the materials and colour palette of the development to reflect materials used in the local area, rather than contrast with them. However, this method of construction would not allow brick or a brick cladding panel to be used. Furthermore, the scale of the building would be modest and its siting (with the larger two blocks set back in the site) would mean that the building would have an acceptable appearance.

6.5 Design

- 6.5.1 DMDPD Policy (2015) DM1 'Delivering High Quality Design' states that development proposals should relate positively to their locality, having regard to, building heights, form, scale & massing prevailing around the site, urban grain, sense of enclosure and, where appropriate, following existing building lines, rhythm of any neighbouring or local regular plot and building widths, active, lively frontages to the public realm, and distinctive local architectural styles, detailing and materials.
- 6.5.2 Local Plan (2017) Policy SP11 states that all new development should enhance and enrich Haringey's built environment and create places and buildings that are high quality, attractive, sustainable, safe, and easy to use. Development shall be of the highest standard of design that respects its local context and character and historic significance, to contribute to the creation and enhancement of Haringey's sense of place and identity which is supported by London Plan (2016) Policies 7.4 and 7.6 and Publication Policy D3.
- 6.5.3 The Council's design officer has been consulted and notes that the development provides an exemplary example of modular building design, in a form that is of gentle density and appearance – which is compatible with the varied but mostly residential context. The 2 storey scale of development would be within and below the prevailing height and bulk of the surroundings.
- 6.5.4 The rhythm of windows and doors, panels, and colours, would provide an attractive elevational / fenestration pattern of a comparable scale and proportion to the ordinary domestic surroundings, whilst being clearly of contemporary appearance expressing its progressive modern construction.
- 6.5.5 In terms of the layout, they note that the development would make a significant contribution to improving animation and liveliness to the street. There would be a secure, safe, and clearly defined boundary and definition of public, private

communal, and private space, with active street frontage. Green landscaping proposed for the site will soften its appearance and be compatible with the neighbouring site of nature importance.

- 6.5.6 The rest of the site layout and enclosures would provide clear, secure boundaries, avoiding creating unobserved ambiguous corners and providing a clear pedestrian route from street to site entrance and site entrance to flat entrance, with stairs to access balconies to 1st floor flats all opening off and clearly visible from the central space.
- 6.5.7 In terms of residential quality, they note that the central space will provide a convivial communal meeting and amenity space, benefiting from grassed and paved areas to provide a variety of external amenity in addition to the private external amenity outside each flat's front door.
- 6.5.8 Overall, the proposal is considered a high quality design that is appropriate for the site.

Secured by Design

- 6.5.9 Publication London Plan Policy D11 Safety, security and resilience to emergency states that Boroughs should work with their local Metropolitan Police Service 'Design Out Crime' officers to identify the community safety needs, policies and sites required for their area to support provision of necessary infrastructure to maintain a safe and secure environment and reduce the fear of crime.
- 6.5.10 Local Plan Policy Sp11 'Design' states that all new development should incorporate solutions to reduce crime and the fear of crime, such as promoting social inclusion; creating well-connected and high quality public realm that is easy and safe to use; and by applying the principles set out in 'Secured by Design'.
- 6.5.11 The Designing Out Crime Office of the Metropolitan Police has been consulted on the application and involved in the design process. They have no objections to the proposals on the site subject to conditions and an informative offering recommendations to minimise crime and the fear of crime within the development and the local community.
- 6.5.12 A Condition is recommended that a 'Secured by Design' accreditation shall be obtained for the development prior to occupation and the features that are agreed to be necessary for security are retained for the lifetime of the development. This would ensure that the development is safe and secure and would reduce crime and the fear of crime.

6.6 Quality of Residential Accommodation

- 6.6.1 London Plan (2016) policy 3.5 and Publication Policy D6 requires the design of all new housing developments to enhance the quality of local places and for the dwellings to be of sufficient size and quality. Local Plan (2017) Strategic Policy SP2 and Policy DM12 of the Development Management DPD 2017 reinforce this approach. The Mayor's Housing SPG sets out the space standards for new residential developments to ensure an acceptable level of living accommodation is offered.
- 6.6.2 The proposed homes would be smaller than the nationally described space standard for a 1-bed, 1-person self-contained home which has a shower room (37sqm). 37sqm is also the requirement within the London Plan (2016) and the Publication London Plan (2020). The proposed homes would be 24sqm.
- 6.6.3 The proposed housing has been specifically designed to enable people who have been street homeless to stabilise their situation for a temporary period whilst also being able to get access to support to regain their confidence, health, and independence. It is intended that the homes do not provide any additional or excess space over what is required to meet their needs.
- 6.6.4 This type of housing and the support services being offered are not being delivered within more traditional forms of housing given the high development costs. Essentially, the modular build type maximises the number of homes it can provide whilst still offering a good level of accommodation that would otherwise be delivered in a more spread out, unsuitable, and costly fashion through temporary accommodation rented from the private sector.
- 6.6.5 The modular building design would also enable the rapid provision of homes to enable support and accommodation to be provided for people who have experienced rough sleeping at the earliest opportunity. This could not be viably delivered in any other format given the capital expenditure involved.
- 6.6.6 As such, allowances should be made on the space standards as the public benefits in this regard outweigh any perceived harm.

6.7 Parking and highway safety

- 6.7.1 Local Plan (2017) Policy SP7 Transport states that the Council aims to tackle climate change, improve local place shaping and public realm, and environmental and transport quality and safety by promoting public transport, walking and cycling and seeking to locate major trip generating developments in locations with good access to public transport. This is supported by DM Policy (2017) DM31 'Sustainable Transport'.
- 6.7.2 DM Policy (2017) DM32 'Parking' states that the Council will support proposals for new development with limited or no on-site parking where there are alternative

and accessible means of transport available, public transport accessibility is at least 4 as defined in the Public Transport Accessibility Index (PTAL), a Controlled Parking Zone (CPZ) exists or will be provided prior to the occupation of the development, parking is provided for disabled people; and parking is designated for occupiers of developments specified as 'car capped' which means that no parking other than the space on site is available to residents or staff.

- 6.7.3 The site is close to alternative and accessible means of transport, it has a high PTAL, and a Controlled Parking Zone (CPZ) exists near to the site. One parking space would be provided for disabled people in line with Publication London Plan standards. It is therefore acceptable for the scheme to be car capped.
- 6.7.4 Ordinarily a legal agreement would also be entered into which would restrict occupiers from obtaining CPZ parking permits. However, the temporary and specialist nature of the housing must be considered when assessing whether this is required by the development. These are homes would be steppingstones to help people transition from rough sleeping. The proposal would give residents time to adjust to living in their own place and to develop their independent living skills. Following this they will move on to their own permanent homes.
- 6.7.5 As such, it is highly unlikely given the above and the length of tenancy that residents would own a car. In any event, a condition is recommended which would ensure that the development would not be occupied other than through a lease/license that ensures that residents are obligated not to apply for a parking permit for any CPZ.

Deliveries & Servicing

- 6.7.6 This is a specialist form of supported housing that has been specifically designed to enable people who have been street homeless to stabilise their situation for a temporary period. It is intended that the homes do not provide any additional or excess space over what is required to meet their needs. Given the specialist nature of the housing, it is unlikely that the development would incur a similar level of delivery/servicing trips as a typical residential development with 37 homes.
- 6.7.7 In any event, the development has provided a parking space on site only for deliveries and emergency vehicles and a condition is recommended to ensure it is only used as such. Given the nature of the proposed use this level of provision would be appropriate to deal with the likely volume of deliveries and servicing. As such, a management plan to address these issues would be unnecessary.

Cycle Parking

- 6.7.8 The proposal would provide 38 cycle parking spaces that would all be secure, sheltered, & accessible. The total of 38 includes 36 Spaces for long stay which includes 4 spaces for larger cycles and 2 short stay spaces. This would result in a deficit of 1 space from the minimum required under Policy T5 of the Publication London Plan.

- 6.7.9 Another space could be accommodated within the site to meet the standard, but it would disrupt the layout and pedestrian movements within the site, and it would not be sheltered. Therefore, it would be less secure and, as a result, much less likely to be used. It is also highly unlikely that all residents would always require a cycle parking space. Given these circumstances, the provision of an additional space to meet the standard would be unnecessary.

Construction Management/Logistics

- 6.7.10 Whilst the period of construction for modular developments is generally rapid compared to typical forms of development, there will still be disruption from the traffic movements associated with the delivery and craning onto the site of the buildings. A condition has been recommended (as advised by the Council's Transportation Officers and TfL) which would require a Construction Management/Logistics Plan (CMP/CLP) to be submitted for approval prior to these works being carried out to ensure that disruption is minimised.
- 6.7.11 The proposed development does not propose any highway works. The existing crossovers and footways are maintained. In the absence of any works being made to the highway, a s278 agreement would not be required.
- 6.7.12 A request has also been made for the development to deliver highway improvements and provide a public footway along the site frontage, so that the northern side of Ermine Road has a continuous footway connecting to the High Road. Given the temporary nature of the development the improvements could be superseded after the 7 year period, so it is unreasonable and unnecessary for the development to provide this.

6.8 Energy and Climate Change

- 6.8.1 The NPPF and London Plan Policies 5.1, 5.2, 5.3, 5.7, 5.8, 5.9, 5.10 and 5.11, and Local Plan Policy SP4 sets out the approach to climate change and requires developments to meet the highest standards of sustainable design, including the conservation of energy and water; ensuring designs make the most of natural systems and the conserving and enhancing the natural environment.
- 6.8.2 The London Plan requires all new homes to achieve a zero carbon target beyond Part L 2013 of the Building Regulations. The Publication London Plan further confirms this in Policy SI2. The London Plan also sets a target of 25% of the heat and power used in London to be generated using localised decentralised energy systems by 2025. Where an identified future decentralised energy network exists near a site it will be expected that the site is designed so that it can easily be connected to the future network when it is delivered.

- 6.8.3 The applicant is not proposing any Be Clean measures. The site is not within reasonable distance of a proposed Decentralised Energy Network (DEN) and a Combined Heat and Power (CHP) plant would not be appropriate for this site.

Carbon Offset Contribution

- 6.8.4 New development is expected to achieve the necessary energy and CO2 requirements within the London Plan and Haringey Council's Local Plan or pay an offset payment at £95/tCO2 over 7 years. The applicant has submitted a Carbon Reduction Statement which states that the Carbon shortfall to offset is 11.21 tCO2 which requires a carbon offset contribution of £7,454.65. This will be required by Condition.

Adherence to submitted Energy Strategy

- 6.8.5 Conditions are attached to ensure that the development shall be constructed in strict accordance with the Carbon Reduction Statement, Technical Information Report, and Overheating Study. This shall ensure that the agreed carbon reduction of 59% beyond a Building Regulations 2013 compliant building (with SAP10 carbon factors) will be achieved. The condition would also ensure that the energy efficient materials and air source heat pumps are maintained for the lifetime of the development.

6.9 Pollution – Air quality & contamination

- 6.9.1 Policy 5.21 (Contaminated land) of the London Plan (2016) highlights the Mayor's support for the remediation of contaminated sites and commits him to work with strategic partners to ensure that development of brownfield land does not result in significant harm to human health or the environment and to bring contaminated land to beneficial use.
- 6.9.2 DMDPD Policy DM23: Environmental Protection notes that proposals for new development will only be permitted where it is demonstrated that any risks associated with land contamination, including to human health and the environment, can be adequately addressed in order to make the development safe.
- 6.9.3 It goes on to state that all proposals for new development on land which is known to be contaminated, or potentially contaminated, will be required to submit a preliminary assessment to identify the level and risk of contamination and, where appropriate, a risk management and remediation strategy.

Land Contamination

- 6.9.4 The applicant has submitted information in this regard which has been assessed by the Council's Lead Officer – Pollution. They have no objection to the development in relation to Land Contamination but recommend a condition which would require a site investigation to be designed for the site which would enable

a risk assessment to be undertaken and a Method Statement to be developed which details remediation requirements. The condition would then require these to be carried out should they be required.

- 6.9.5 A further condition is recommended which would require development works to stop should any contamination not previously identified be found to be present at the site. A remediation strategy detailing how this contamination would be dealt with would then need to be submitted and approved in writing by the Local Planning Authority and implemented as approved.

Air Quality

- 6.9.6 Policy SI 1 Improving air quality sets out several criteria to tackle poor air quality, protect health and meet legal obligations. Policy DM23: Environmental Protection of the DMDPD requires all development proposals to consider air quality and be designed to improve or mitigate the impact on air quality in the Borough; and improve or mitigate the impact on air quality for the occupiers of the building or users of the development.
- 6.9.7 The Council's Lead Officer – Pollution has no objection to the development in relation to air quality. However, to safeguard residential amenity, reduce congestion, and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality a condition is recommended which would require a Construction Environmental Management Plan (CEMP) to be submitted and approved in writing by the local planning authority.

6.10 Flood Risk and Drainage

- 6.10.1 Publication London Plan Policies SI 12, SI 13 and Local Plan (2013) Policy SP5 (Water Management and Flooding) require developments to utilise Sustainable Urban Drainage Systems (SUDS) unless there are practical reasons for not doing so, and aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible in line with the drainage hierarchy.
- 6.10.2 Policy also requires drainage to be designed and implemented in ways that deliver other policy objectives, including water use efficiency and quality, biodiversity, amenity, and recreation. Further guidance on implementing Policy 5.13 is provided in the Mayor's Sustainable Design and Construction SPG (2014) including the design of a suitable SUDS scheme.
- 6.10.3 The site is located within Flood Zone 1 (low risk) but is within a Critical Drainage Area. The applicant has submitted a Drainage and Flood Risk Design Note and a Below Ground Drainage Layout drawing that includes an attenuation system and permeable paving throughout the site.

- 6.10.4 The Council's SuDS Officer has been consulted and has advised that the LLFA, accept the proposed SuDS solutions. They are satisfied with the proposal in terms of drainage subject to a condition to ensure a revised FRA is submitted that meets all of the requirements of the Haringey guidance as well as evidence that Thames Water have given consent to connect to their network and capacity exists to receive the surface water.
- 6.10.5 A comprehensive management maintenance schedule has been provided that will see the system function effectively for the duration of the site. Conditions are attached to ensure these drainage solutions are delivered and maintained accordingly
- 6.10.6 The Environment Agency have reason to believe the site is within 3 metres of a culverted main river, the Stonebridge Brook, and have raised an objection given this close proximity.
- 6.10.7 The applicant has employed consultants to survey the area who have only located a Thames Water surface water sewer network which is 23.9m away at its closest point. The survey information indicates that no other subterranean waterways have been located closer to the boundary. The applicant has contacted Thames Water to see if they can confirm that the sewer is the adopted watercourse – A response to this has not yet been received.
- 6.10.8 At the time of drafting the report the EA have not retracted their objection. However, the applicant has surveyed the area and cannot locate any waterways. Given the nature of the development – which requires little in the way of excavation and foundations; and given the lack of evidence to counter the applicant's position – there is no evidence to show that the units would be placed within 8m of a culvert. Further information will be provided in an addendum report.

6.11 The impact on the adjacent ecological asset

- 6.11.1 Policy G5 of the Publication London Plan states that major development proposals should contribute to the greening of London by including urban greening as a fundamental element of building design. Policy G6 of the same document states that SINC's should be protected.
- 6.11.2 Policy SP13 of the Local Plan states that all development shall protect and enhance sites of biodiversity and nature conservation. Policy DM19 Part A of the DM DPD states that development proposals which are on or adjacent to a SINC or an ecological corridor should protect and enhance the nature conservation value of the site.
- 6.11.3 Part B of the same policy states that development that has a direct or indirect adverse impact upon important ecological assets will only be permitted where: (a)

the harm cannot be reasonably avoided, and; (b) it has been suitably demonstrated that appropriate mitigation can address the harm caused.

6.11.4 Policy DM21 of the DM DPD states that proposals should maximise opportunities to enhance biodiversity on site, including through appropriate landscaping, living roofs and green walls. Policy DM1 states that development proposals will be expected to respond to trees on or close to the site.

6.11.5 The Council's Nature Conservation Officer has been consulted and is satisfied with the proposal noting that an ecological review of the site has been carried out which has highlighted that there is negligible ecological interest on the site and no remaining scope for protected species to use the site in any significant way.

6.11.6 Adjacent to the site bats are known to be present foraging within the Tottenham Railsides SINC. As such, ensuring the risk of light spill onto the SINC is minimised by careful placement of any external lighting and directional shading would help to protect this European protected species. A condition is attached to ensure harmful light spill into/onto the SINC would not occur.

6.11.7 The Nature consideration officer also notes that the SINC is also directly adjacent and young and semi-mature trees are close to the site. Care must therefore be taken not to damage the root zones or the canopies of these trees (including through soil compaction and disturbance).

6.11.8 They recommend conditions that would ensure that tree root zones and canopies are protected. They note that a robust fence has been incorporated into the scheme which would ensure access to the SINC is restricted. This would help to preserve and safeguard the ecological asset.

6.11.9 The proposal would therefore protect the ecology of the area subject to the imposition of the conditions mentioned above.

6.12 Waste and Recycling

6.12.1 London Plan Policy 5.16 indicates the Mayor is committed to reducing waste and facilitating a step change in the way in which waste is managed. Local Plan Policy SP6 Waste and Recycling and DPD Policy DM4 require development proposals to make adequate provision for waste and recycling storage and collection.

6.12.2 The proposal provides sufficient waste storage through the provision of a refuse store which holds 5 x 1100L waste receptacles for refuse & 3 x 1100L waste receptacles for dry recycling. The plans indicate that the waste containers would be located no further than 10 metres from the point of collection (which would be on Ermine Road).

- 6.12.3 The plans also show the route from the waste storage point to the collection point to be as straight as possible with no kerbs or steps. The gradient would also be close to 1:20 and surfaces would be smooth and sound, & concrete rather than flexible. A dropped kerb is already installed, in the location where they would be placed onto the street for collection.
- 6.12.4 Generally, major schemes with this many units would provide for waste collection vehicles to enter and exit the development using forward motion gears. The proposed development would have a modest floorspace and would be on a small site at the end of what is effectively a cul-de-sac. The specialist nature of the housing and the characteristics of the locality do not require this. Provision would be made for waste receptacles to be collected by a refuse vehicle in Ermine Road.
- 6.12.5 A condition is attached which would require the codes, keys, transponders or any other type of access equipment to be provided to the Council and for the access to the waste storage to remain unobstructed and within 10m from Ermine Road on collection day. This would ensure suitable provision is provided.

6.13 Conclusion

- 6.13.1 The proposals would provide much needed housing for a section of the community where the need is amongst the greatest. The site is suitable for residential development, but this would be unlikely to come forward in another form due to it being safeguarded for Crossrail 2. The proposal would provide an exemplary modular building, in a form that is of gentle density and appearance that would be compatible with the varied but mostly residential context.
- 6.13.2 These homes would be steppingstones to help people transition from rough sleeping. The proposals would give prospective residents time to adjust to living in their own place and to develop their independent living skills. Following this they will move on to their own permanent homes. The units are thoughtfully designed through consultation with individuals who have slept rough or have had experiences of homelessness.
- 6.13.3 The GLA, through the Rough Sleeping Accommodation Programme (RSAP), has awarded Haringey Council funding for the scheme, based on the current size of the proposed units. The sizes not only aid delivery but prevent cuckooing and the renting out of bedrooms for other antisocial purposes.
- 6.13.4 The proposal and the recommended conditions ensure the proposal delivers much needed temporary housing in a way that complies with the development plan. The concerns of residents are noted but the submission outlines how these issues would be minimised and addressed to ensure the safety of new and existing residents.

6.13.5 All other relevant policies and considerations have been taken into account.

Equalities

6.13.6 In determining this planning application, the Council is required to have regard to its obligations under equalities legislation including obligations under the Equality Act 2010. In carrying out the Council's functions due regard must be had, firstly to the need to eliminate unlawful discrimination, and secondly to the need to promote equality of opportunity and to foster good relations between persons who share a protected characteristic and persons who do not share it.

6.13.7 As discussed above, the development provides accommodation and access to support for people who are street-homeless. This will also likely provide other opportunities that street-homeless people may not currently have equal access to. It is also noted that street-homelessness is more likely to affect groups with a protected characteristic such as individuals with disabilities, those experiencing mental health issues, LGBTQ+ persons, and young men. The proposal would support equality of opportunity and may also benefit specific priority groups.

6.13.8 Planning permission should be granted for the reasons set out above. The details of the decision are set out in the RECOMMENDATION

6.14 CIL

6.14.1 Based on the information given on the plans, the Mayoral CIL charge will be £54,720 (912sqm x £60.55) and the Haringey CIL charge will be £19,061 (912sqm x £20.90). This would be charged in accordance with the CIL Charging Schedule and any eligible relief and includes indexation in line with the RICS CIL Index.

7 RECOMMENDATIONS

GRANT PERMISSION subject to conditions in Appendix 1

Applicant's drawing No.(s)

Location Plan 109-08-PS-001; Proposed Site Plan 109-08-PS-002 K; Proposed Ground Floor Plan 109-08-PS-010 K; Proposed First Floor Plan 109-08-PS-011; Block A Elevations / Street Section 109-08-PS-020 Rev: C; Block B Elevations / Site Section A 109-08-PS-021 Rev: C; Block C Elevations / Site Section B 109-08-PS-022 Rev: C; GA Elevations (Colour) 0000-HF-000-00-DR-BC-0002 REV C03; ROOF PLAN CHM-D-18 D04; GENERAL PLAN CHM-D-01 D05

Appendix 1

Subject to the following condition(s)

Temporary Permission

- 1) This permission shall be for a limited period expiring on 15/01/2028 when the building hereby approved shall be removed and the land reinstated.

Reason: The permanent retention of the building may prejudice the future development of the site thus preventing the optimal use of the site inconsistent with Policy 3.4 of the London Plan 2016.

Approved Plans

- 2) The approved plans comprise drawing numbers (Location Plan 109-08-PS-001; Proposed Site Plan 109-08-PS-002 K; Proposed Ground Floor Plan 109-08-PS-010 K; Proposed First Floor Plan 109-08-PS-011; Block A Elevations / Street Section 109-08-PS-020 Rev: C; Block B Elevations / Site Section A 109-08-PS-021 Rev: C; Block C Elevations / Site Section B 109-08-PS-022 Rev: C; GA Elevations (Colour) 0000-HF-000-00-DR-BC-0002 REV C03; ROOF PLAN CHM-D-18 D04; GENERAL PLAN CHM-D-01 D05). The development shall be completed in accordance with the approved plans and retained as such thereafter for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: In order to ensure the development is carried out in accordance with the approved details and in the interests of amenity and good planning.

Materials as indicated on approved plans

- 3) The external materials to be used for the proposed development shall match the colour, size, shape, and texture of the materials indicated on the approved plans except where conditions attached to this planning permission indicate otherwise.

Reason: In order to ensure a satisfactory appearance for the proposed development, to safeguard the visual amenity of neighbouring properties and the appearance of the locality consistent with Policy 7.6 of the London Plan 2016, Policy SP11 of the Haringey Local Plan 2013 and Policy DM1 of The Development Management DPD 2017.

No Parking Permits for New Residents

- 4) The development shall not be occupied other than through a lease/license/agreement between the operator and each resident that ensures that occupants of the development hereby approved are obligated not to apply for a parking permit for any Controlled Parking Zone (CPZ).

Reason: In order to ensure car parking is restricted in line with levels of existing and future public transport accessibility and connectivity and to comply with Policy T6 of the Publication London Plan (2020) & Policy DM32 of The Development Management DPD 2017.

All Parking Delivered as Approved

- 5) The vehicular and cycle parking spaces shown on the approved plans shall be laid out and installed as approved and retained for the lifetime of the development. The hatched parking space indicated on drawing '109-08-PS-010 K' shall only be used for deliveries & servicing; or in/for emergencies except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: In order to ensure sufficient space is given over within the development to facilitate safe, clean, and efficient deliveries and servicing and to comply with Policies T5, T6, T6.1, & T7 of the Publication London Plan (2020).

Construction Management/Logistics Plan

- 6) Prior to above ground works, a Construction Management/Logistics Plan shall be submitted to and approved in writing by the local planning authority. The CLP shall be in accordance with Transport for London's Construction Logistics Plan Guidance (July 2017) and shall provide details on:
 - i. Details of key phases of the construction programme, corresponding site layout, number of staff including modes of travel, parking provision (vehicles and cycles);
 - ii. Arrangements for management of construction material deliveries / removal, material storage, skip storage;
 - iii. Daily number and size of construction vehicles expected, vehicular swept paths (with 300mm error margins) to demonstrate largest construction vehicles arriving, parking in loading/unloading area, manoeuvring and departing in forward gear;
 - iv. Details of all temporary traffic management and parking restrictions required;
 - v. Details of any highway licences required due to the crane oversailing the public highway;
 - vi. Wheel washing facilities to keep highway clean of mud etc;
 - vii. Arrangements for management of Health and safety;
 - viii. Arrangements for dealing with complaints;
 - ix. Hours of operations;
 - x. Monitoring and joint working arrangements, where appropriate;
 - xi. Site access and car parking arrangements;
 - xii. Delivery booking systems (allocated delivery slots for site management);

- xiii. A swept path analysis for crane vehicles carrying the necessary equipment;
- xiv. Agreed routes to/from the site;
- xv. Confirmation that all vehicles are recognised in the Fleet Operators Recognition Scheme (FORS) or similar;
- xvi. Timing of deliveries to and removals from the site by construction vehicles (to avoid peak times, as agreed with Highways Authority, 07.00 to 9.00 and 16.00 to 18.00, where possible); and
- xvii. Travel plans for staff/personnel involved in construction works to detail the measures to encourage sustainable travel to the site during the construction phase; and
- xviii. Joint arrangements with neighbouring developers for staff parking, Lorry Parking, and consolidation of facilities such as concrete batching; and
- xix. Temporary obstructions during the construction and delivery must be kept to a minimum and should not encroach on the clear space needed to provide safe passage for pedestrians or obstruct the flow of traffic on the TLRN.

Reason: In order to ensure that the proposal is consistent with Publication London Plan Policy T7 and to safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality and to comply with DMDPD Policy DM23: Environmental Protection.

Energy Strategy

- 7) The development shall be constructed in accordance with:
- the Carbon Reduction Statement – ModulHaus Ermine Road prepared by Volumetric Modular Ltd (dated December 2020);
 - Overheating, MVHR, ASHP Technical Information Report prepared by Hill (dated 5 October 2020); and
 - the TM59 Overheating Study prepared by The Richards Design Partnership (dated November 2020).

and

the energy efficient materials and air source heat pumps shall be maintained for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: To ensure the development can comply with the Energy Hierarchy in line with London Plan 2016 Policy 5.2, Publication London Plan Policy SI 2 and Local Plan Policy SP4.

Carbon Offset Contribution

- 8) The development hereby approved shall not be occupied until a payment of £7,454.65 towards carbon reduction measures in Haringey has been paid to the Council's Carbon Management Team to bring the level of carbon reduction from the site in line with the London Plan Policies 5.1, 5.2, 5.3, 5.7, 5.8, 5.9, 5.10, and 5.11; The Publication London Plan (2020) Policy SI 2; and Local Plan Policy SP4.

Reason: To ensure the development can comply with Publication London Plan Policy SI2 and Local Plan Policy SP4.

Land Contamination

- 9) Prior to any further work on site:
 - a) Using the information already acquired from the submitted Phase I Geo-Environmental Assessment with reference DS-21906G-20-420 proposed by IDOM Merebrook Limited dated October 2020, a site investigation shall be designed for the site using information obtained from the desktop study and Conceptual Model. The site investigation must be comprehensive enough to enable; a risk assessment to be undertaken, refinement of the Conceptual Model, and the development of a Method Statement detailing the remediation requirements.
 - b) The risk assessment and refined Conceptual Model shall be submitted, along with the site investigation report, to the Local Planning Authority which shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site.
 - c) Where remediation of contamination on the site is required, completion of the remediation detailed in the method statement shall be carried out and;
 - d) A report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority before the development is occupied.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety and to comply with London Plan (2016) policy 5.21 (Contaminated land) and DMDPD Policy DM23.

Unexpected Contamination

- 10) If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved.

Reason: To ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable levels of water pollution from previously unidentified contamination sources at the development site in line with paragraph 109 of the National Planning Policy Framework.

CEMP

- 11) Prior to above ground works, a Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the local planning authority.

The following applies to above:

- a) The CEMP shall include an Air Quality and Dust Management Plan (AQDMP).
- b) The CEMP shall provide details of how construction works are to be undertaken respectively and shall include:
 - i. A construction method statement which identifies the stages and details how works will be undertaken;
 - ii. Details of working hours, which unless otherwise agreed with the Local Planning Authority shall be limited to 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 on Saturdays;
 - iii. Details of plant and machinery to be used during demolition/construction works;
 - iv. Details of an Unexploded Ordnance Survey;
 - v. Details of the waste management strategy;
 - vi. Details of community engagement arrangements;
 - vii. Details of any acoustic hoarding;
 - viii. A temporary drainage strategy and performance specification to control surface water runoff and Pollution Prevention Plan (in accordance with Environment Agency guidance);
 - ix. Details of external lighting; and,
 - x. Details of any other standard environmental management and control measures to be implemented.
- c) The AQDMP will be in accordance with the Greater London Authority SPG Dust and Emissions Control (2014) and shall include:
 - i. Mitigation measures to manage and minimise demolition/construction dust emissions during works;
 - ii. Details confirming the Plot has been registered at <http://nrmm.london> where applicable;
 - iii. Evidence of Non-Road Mobile Machinery (NRMM) and plant registration shall be available on site in the event of Local Authority Inspection;
 - iv. An inventory of NRMM currently on site (machinery should be regularly serviced, and service logs kept on site, which includes proof of emission limits for equipment for inspection);
 - v. A Dust Risk Assessment for the works; and
 - vi. Lorry Parking, in joint arrangement where appropriate.

Reason: To safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality and to comply with Policy 5.21 (Contaminated land) of the London Plan (2016) and DMDPD Policy DM23: Environmental Protection.

Drainage / Flooding (FRA)

- 12) Prior to above ground works, a revised FRA shall be submitted to and approved in writing by the local planning authority. The revised FRA shall provide new rainfall data using Flood Estimation Handbook (FEH) rainfall theory, in accordance with Haringey guidance.

The FRA shall include a completed London Sustainable Drainage pro-forma, as well as evidence that Thames Water have given consent to connect to their network and capacity exists to receive the surface water.

Reason: In order to comply with Policies DM24, 5, 6, & 9 of the Haringey Development Management DPD (2017), policy SP5 of the Local Plan.

Provision & Retention of SuDS

- 13) Prior to above ground works, Section 4 (Sustainable Drainage Maintenance Strategy) & Appendix B (Proposed Drainage Strategy Drawings) of 'Design Note – Ermine Rd Drainage & Flood Risk 16/12/2020' and the SuDS options it proposes (namely Below Ground Cellular Attenuation & Permeable Paving) shall be provided, maintained in accordance with the associated Maintenance Schedules, and retained for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

For the avoidance of doubt, all hardstanding areas shall be permeable.

Reason: In order to ensure a satisfactory provision for drainage on site and ensure suitable drainage provision for the development and comply with Policies DM24, 5, & 6 of the Haringey Development Management DPD (2017), policy SP5 of the Local Plan.

No Light Spill into SINC (Bats)

- 14) Light from external lighting in the development shall not spill to a harmful extent into the adjacent ecological asset (Tottenham Railsides SINC). Any lighting located near the northwest boundary of the site shall have directional shading to ensure that light spillage into the SINC does not have an undue impact on foraging bats and their habitats.

Reason: In order to ensure bats and their habitats are suitably protected and comply with Policies DM19 (Nature Conservation) of the Haringey Development

Management DPD (2017), policy 7.19 of the London Plan, and Policy G6 of the Publication London Plan.

Tree protection (SINC/Bats)

- 15) The existing trees adjacent to the northwest boundary of the site shall not be lopped, felled or otherwise affected in any way (including raising and lowering soil levels under the crown spread of the trees) and no excavation shall be cut under the crown spread of the trees without the prior written permission of the Local Planning Authority.

Reason: In order to ensure bats and their habitats are suitably protected and to safeguard trees in the interest of visual amenity of the area consistent with Policy 7.21 of the London Plan 2016, Policy SP11 of the Haringey Local Plan 2017 and Policies DM1 and DM19 of The Development Management DPD (2017).

Waste storage delivered and made accessible

- 16) The waste storage shown on the approved plans shall be delivered and retained for the lifetime of the development except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

On occupation of the development - the codes, keys, transponders or any other type of access equipment to the waste store shall be provided to the Council and access to the waste store shall remain unobstructed and within 10m from Ermine Road on collection day.

Reason: In order to ensure waste storage is suitably accessible and to comply with Policy DM4 of The Development Management DPD (2017).

Secured by Design

- 17) Prior to occupation of the development, details of full Secured by Design' Accreditation shall be submitted to and approved in writing by the Local Planning Authority. The details shall demonstrate consultation with the Metropolitan Police Designing Out Crime Officers. The development shall be carried out in accordance with the approved details and maintained thereafter for the lifetime of the development.

Reason: To ensure safe and secure development and reduce crime and to comply with Publication London Plan Policy D11 and DMDPD Policy DM2.

Culvert protection

- 18) If, during development, a culverted main river previously not identified is found to be present under, or within 4m of, the site then no further development shall be carried out until a condition survey has been completed and a strategy put in

place to protect the culvert. The strategy will be submitted to and approved in writing by, the local planning authority (in consultation with the Environment Agency), and shall be implemented as approved. The strategy will include the following components;

- Details of the location, depth, and structural condition of the culvert.
- Plans to repair any damage the culvert to ensure structural stability for the lifetime of the development.
- Details of how work will be carried out on site without damaging the structure, or impeding the function of, the culvert (including loading calculations).

Reason: To reduce the risk of flooding to the proposed development and future occupants, ensure the structural integrity of the existing flood defences and reduce the risk of flooding from blockages to any existing culvert in accordance with Policy DM28: Protecting and Enhancing Watercourses and Flood Defences.

Informatives:

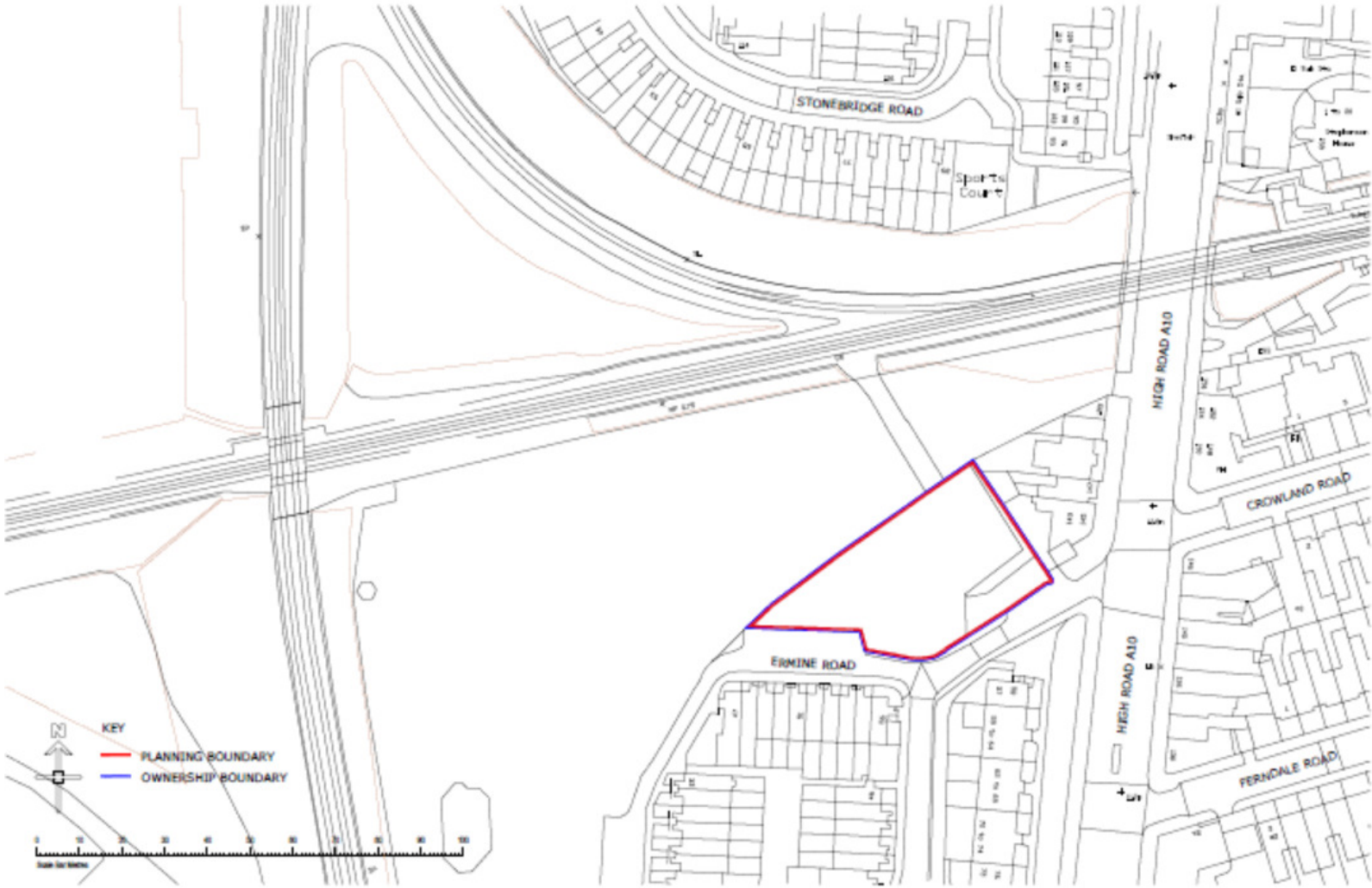
- 1) **INFORMATIVE :** In dealing with this application, Haringey Council has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) (Amendment No.2) Order 2012 to foster the delivery of sustainable development in a positive and proactive manner.
- 2) **INFORMATIVE : CIL**
Based on the information given on the plans, the Mayoral CIL charge will be £54,720 (912sqm x £60.55) and the Haringey CIL charge will be £19,061 (912sqm x £20.90). This would be charged in accordance with the CIL Charging Schedule and any eligible relief and includes indexation in line with the RICS CIL Index.
- 3) **INFORMATIVE : Hours of Construction Work:** The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-
 - 8.00am - 6.00pm Monday to Friday
 - 8.00am - 1.00pm Saturday
 - and not at all on Sundays and Bank Holidays.
- 4) **INFORMATIVE : Party Wall Act:** The applicant's attention is drawn to the Party Wall Act 1996 which sets out requirements for notice to be given to relevant adjoining owners of intended works on a shared wall, on a boundary or if excavations are to be carried out near a neighbouring building.
- 5) **INFORMATIVE :** The new development will require numbering. The applicant should contact the Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 5573) to arrange for the allocation of a suitable address.
- 6) **INFORMATIVE :** The London Fire Brigade strongly recommends that sprinklers are considered for new developments. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers, and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier.
- 7) **INFORMATIVE :** With regards to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water course, or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to

a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777.

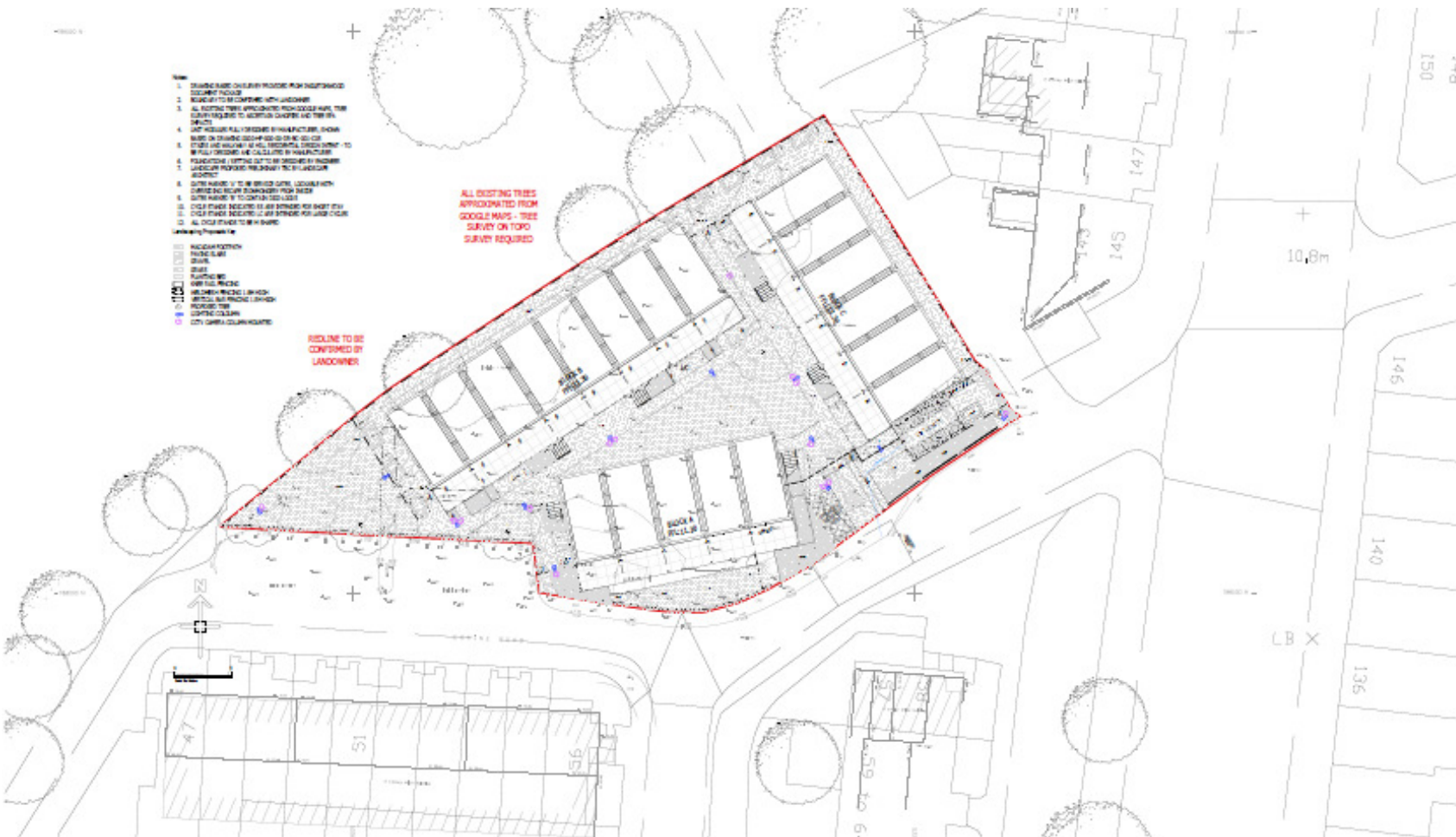
- 8) INFORMATIVE : Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Water's pipes. The developer should take account of this minimum pressure in the design of the proposed development.
- 9) INFORMATIVE : A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing trade.effluent@thameswater.co.uk . Application forms should be completed online via www.thameswater.co.uk. Please refer to the Wholesale; Business customers; Groundwater discharges section.
- 10) INFORMATIVE : The proposed development is located within 15 metres of Thames Water's underground assets and as such, the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures (<https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-near-or-diverting-our-pipes>). Should you require further information please contact Thames Water. Email: developer.services@thameswater.co.uk Phone: 0800 009 3921 (Monday to Friday, 8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern Road, Reading, Berkshire RG1 8DB
- 11) INFORMATIVE : The applicant should be aware that the application site is identified as an Area of Surface Interest in the 2015 Crossrail 2 Safeguarding Directions. In the event of a decision to progress the Crossrail 2 project the land may be subject to compulsory purchase in order to provide a worksite for the future delivery of the Crossrail 2 scheme.
- 12) INFORMATIVE : The applicant must seek the continual advice of the Metropolitan Police Service Designing Out Crime Officers (DOCOs) to achieve accreditation. The services of MPS DOCOs are available Free of Charge and can be contacted via docomailbox.ne@met.police.uk or 0208 217 3813.

Appendix 2 Plans and Images

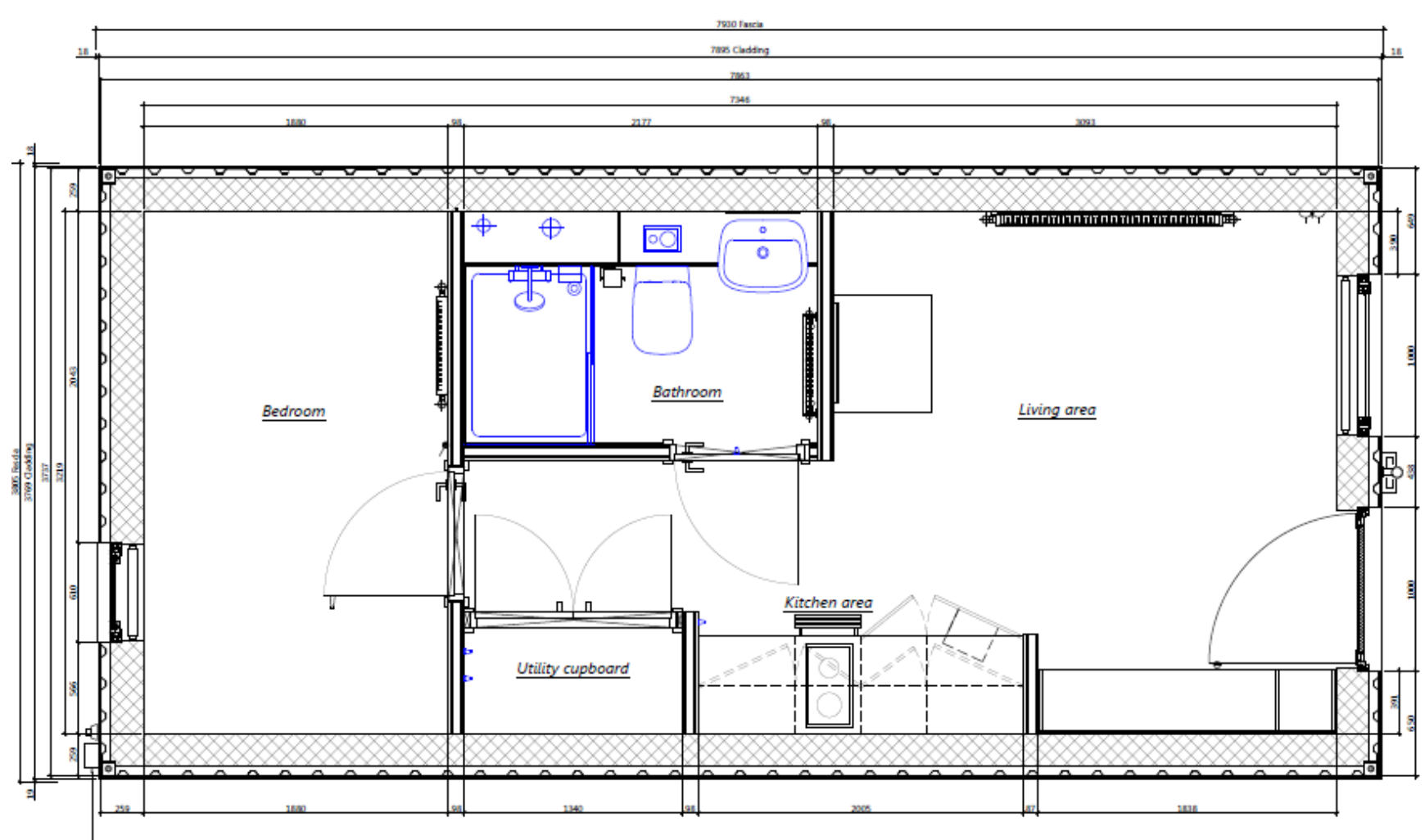
Location Plan



Site Plan



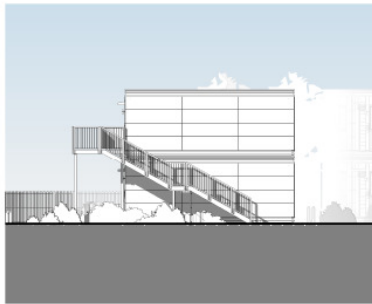
Indicative room layout



Block A Elevation



① Block A Front Elvation / Ermine Rd Section
1 : 100



② Block A Right Elevation
1 : 100



③ Block A Rear Elevation
1 : 100



④ Block A Left Elevation
1 : 100



Client:
140 Residential | Irvine

Block B



① Block B Front Elevation / Site Section A
1 : 100



② Block B Right Elevation
1 : 100



③ Block B Rear Elevation
1 : 100



④ Block B Left Elevation
1 : 100



Drawn
1:100 (Front elevation and 1:100 Section A)

Block C



① Block C Front Elevation / Site Section B
1 : 100



② Block C Right Elevation
1 : 100



③ Block C Rear Elevation
1 : 100



④ Block C Left Elevation
1 : 100

Render of view from Crowland Road / High Road



View from Ermine Road looking East



View from Ermine Road looking North



View from High Road looking northwest



Appendix 3 Consultation Responses from internal and external agencies

Stakeholder	Question/Comment	Response
INTERNAL		
Design	<p><u>HGY/2020/2794</u> - Land to the North of Ermine Road, London N15 <i>Temporary planning permission for a period of 7 years to provide 38 modular residential homes for use as accommodation for the homeless with associated cycle storage and refuse storage.</i></p> <p>Thank you for asking me for my comments on the above. I have been included in discussions on this proposal since the pre-app stage and am familiar with the site after discussing earlier proposals including the outline permission granted for residential development on the neighbouring green space.</p> <p>The site is an area of hardstanding located between commercial properties facing Tottenham High Road to the east, the Ermine Road estate, 1970s council housing, to the south, and the Ermine Triangle green space to the north-west. This is an area of leftover land originally intended, when the railways were built in the late nineteenth century, for a connecting rail loop between two crossing railways (both now parts of the London Overground passenger network); the Liverpool Street to Enfield Town line about 100m to the west and the Gospel Oak to Barking line about 40m to the north. No proposals have ever been made for constructing such a loop, nor are any likely, as such a link would not be necessary. There is already a link from the Barking line to the Enfield Town line, used for only occasional freight.</p> <p><u>Principle of Development</u></p> <p>The green space adjoining the application site to the north-west, along with the railway tracks an similar green triangles on the other sides of both tracks, have been designated for nature conservation in Haringey's Local Plan, as Ecological Corridor and Site of Importance for Nature Conservation (SINC) Grade II, but these designations do not apply to this application site, merely to the land adjoining its north-western boundary. There are also no</p>	<ul style="list-style-type: none"> Noted

Stakeholder	Question/Comment	Response
	<p>other planning designations applicable to this site or any of its immediate surroundings, not is the site designated for development. It is, however, considered a potentially developable piece of brownfield land subject to normal planning policies applicable to any other developable plot. The neighbouring greenspace is privately owned and is in principle developable, provided the biodiversity value can be maintained, and outline planning permission has previously been granted (on appeal) for a modest residential development on the part of the site near this application site. There is also a small plot of land, currently in use as a vehicle mechanics, at the back of the nearest property on Tottenham High Road, immediately adjoining the north-eastern side of the application site, separating it from the shops, with flats above, in Victorian three storey sopping parade buildings facing the High Road.</p> <p>The proposals are for temporary housing using units manufactured off-site, in modular, self contained, single bedroom, single person units. The proposed housing will act as a first step for homeless people, with on site management, advice and assistance. The site is suitable for residential development in principle, adjoining existing housing to the south, and has the facilities and connections available on Tottenham High Road just to the east with Seven Sisters Station and the West Green Road town centre a short walk to the north, and South Tottenham Overground Station an even shorter walk just across the High Road, which make it particularly suited to specialist, supported housing of this sort. However, the site is only available for temporary development, being safeguarded for future use to construct Crossrail 2, and the modular, off-site manufactured design is suitable for dismantling and relocating to another site should Crossrail (or another proposal) go ahead requiring access to the development. Off-site manufactured buildings are probably the only sorts of technology that could be used to build on this site whilst allowing for its to be vacated in only a short number of years, with the investment in essential housing not being lost.</p> <p>Form & Pattern of Development</p>	

Stakeholder	Question/Comment	Response
	<p>The form of the proposal is in many ways driven by the progressive construction concept of Off-Site Manufacture and Assembly, with the development designed to be largely manufactured as a series of “pods” in a factory, each the size of the individual one bedroom units. These will be delivered to site and joined together in three, two storey rows of five, six and eight units each, giving 37 one-bed flats and one office. Each has a balcony access to the upper floor flats; that also provide a sheltered outdoor threshold space to the ground floor flats beneath them. The rows are laid out around the edge of the site, creating a central communal amenity and outdoor meeting place, well overlooked by two storeys of flats on two sides; the rows on the north-east and north-west side (Blocks B and C respectively) back onto their boundaries with the private sides of these neighbours, whilst the front Block A faces the street, Ermine Road, with its’ back facing the central communal space.</p> <p>Paths, entrances and site enclosure reinforce this simple layout to create a clear and logical spatial hierarchy, from the public street frontage, with just four of the flats opening off this, as well as the site office, but with the five upper floor flats of Block A also looking onto this, with a clear single gate-controlled entrance, located between Blocks A and B, beside the site office. Block A is modestly set back from the pavement edge along Ermine Road (which itself would be improved from the narrow, inconsistent present pavement), with a zone of defensible space between the flats and the street, but this will make a significant contribution to improving animation and liveliness to the street. The rest of the site layout and enclosure will provide clear, secure boundaries, avoiding creating unobserved ambiguous corners and providing a clear pedestrian route from street to site entrance and site entrance to flat entrance, with stairs to access balconies to 1st floor flats all opening off and clearly visible from the central space. Services, storage and refuse are located conveniently but unobtrusively to reinforce the clear, logical and secure site layout.</p> <p><u>Bulk, Massing & Landscaping</u></p>	

Stakeholder	Question/Comment	Response
	<p>The proposals' height is limited to two storeys and the length of the three blocks limited to five, six and eight units, broken down by a clear rhythm into short units, make it clearly within and below the prevailing height and bulk of the surroundings. The central space will provide a convivial communal meeting and amenity space, benefiting from grassed and paved areas to provide a variety of external amenity in addition to the "stoop" private external amenity outside each flat's front door. The western edge of the site, where it narrows down to an acute angle, will in contrast be landscaped with trees and bushes to compliment and extend the more wild, natural landscaping of the green space of the railway triangle to the north-west.</p> <p><u>Elevational Treatment, Fenestration, including Balconies</u></p> <p>The three rows will have a strongly rhythmic appearance to their main long front and back elevations, formed by their repeating module of windows, and blocks of coloured panels representing each individual flat, contrasting with darker panels between and above flats, which are also used for the whole of the much shorter, blank, end elevations. The rhythm of windows and doors, panels and colours, will provide an attractive elevational / fenestration pattern of a comparable scale and proportion to the ordinary domestic surroundings, whilst being clearly of contemporary appearance expressing its progressive modern construction.</p> <p>Balconies providing access to the first floor flats, as well as their outdoor amenity space, will form an important part of the developments' appearance and add to the liveliness and animation of the scheme. The balconies are over 2m deep, providing space for both circulation and private outdoor amenity. On design officer advice, solid panels have been added to the balcony balustrading, in the same material as the side panelling, to break up the length of the balconies, provide some privacy to first floor residents and hide any clutter on those balconies.</p>	

Stakeholder	Question/Comment	Response
	<p><u>Conclusions</u></p> <p>The proposals will provide much needed housing for a section of the community where the need is amongst the greatest, in a site for which residential development is suitable, but that is otherwise in danger of being blighted by its Crossrail 2 Safeguarding. It also provides an exemplary example of Modern Methods of Construction, off site manufacture and pre-fabrication, in a form that is of gentle density and appearance, compatible with the varied but mostly residential context. The design will provide a secure, safe and clearly defined boundary and definition of public, private communal and private space, with active street frontage. Green landscaping proposed for the site will soften its appearance and be compatible with the neighbouring site of nature importance.</p>	
<p>Conservation</p>	<p><u>HGY/2020/2794 - Land north of Ermine Road, N15 6DD - Update</u></p> <p>The proposed development falls within the setting of the Seven Sisters/Page Green Conservation Area. The submitted image shows the proposed development from the corner of Crowland Road and the High Road, opposite (south) of the locally listed Dutch House and just outside the conservation area.</p> <p>The proposed development will only be partially visible from the southernmost part of the conservation area, as it will be mostly screened by the terrace on the western side of the High Road. Due to its mass and scale, it will be consistent with the surrounding townscape and will not detract from it. Therefore, it will not have a negative impact on the significance of the conservation area and associated heritage assets, including the locally listed Dutch House.</p> <p>There is no objection from a conservation perspective. However, it would be desirable the materials and colour palette of the development to reflect materials used in the local area, rather than contrast with them. In addition, there is an opportunity to create an</p>	<ul style="list-style-type: none"> • No harm has been identified and the scheme is therefore acceptable in this regard. • The Conservation Officer has noted that it would be desirable for the materials and colour palette of the development to reflect materials used in the local area, rather than contrast with them. However, this method of construction would not allow brick or a brick cladding panel to be used. Furthermore, the scale of the building would be modest and its siting (with the larger two blocks set back in the site) would mean that the building would have an acceptable appearance.

Stakeholder	Question/Comment	Response
	attractive and carefully designed frontage onto Ermine Road and that could be further explored.	
Transportation	<p>I would suggest condition for the following:</p> <ol style="list-style-type: none"> Construction Management Plan (CMP) – this will help resolve issues raised in my comments regarding CLP in email below. Deliver and Servicing Management Plan – this will help formalise arrangement informed by appropriate vehicular swept paths, accurate location of bollards including arrangements for refuse collection as agreed by Martin Lester. S106 / s278 agreement for highway works – this would help resolve issues raised in my email dated 18/12/20 regarding: <ol style="list-style-type: none"> Car free / car capped s106 agreement to restrict eligibility of all occupiers from obtaining CPZ parking permits and payment (£4000) for amending the CPZ TMO accordingly. highway boundaries – to clearly identify where highway including CS1 may be affected by proposals, 	<ul style="list-style-type: none"> A condition is recommended which would ensure that the development would not be occupied other than through a lease/license that ensures that residents are obligated not to apply for a parking permit for any CPZ. A parking space is provided for deliveries and emergency vehicles and a condition is recommended to ensure it is only used as such. There would be a deficit of 1 space from the minimum which is acceptable given the specialist nature of the housing and given any further provision would not be sheltered and usable.

Stakeholder	Question/Comment	Response												
	<p>iii. status of road along site frontage (Red Route / Highway Authority),</p> <p>iv. relocation / removal of existing bollards (if necessary for parking spaces to operate),</p> <p>v. allowing for highway improvements / reinstatement of redundant crossovers and</p> <p>vi. provision of public footway along site frontage to be designed, funded and implemented, in consultation with TfL.</p> <p>Transport demands and provision for the proposed housing scheme for homeless people are expected to be different from those associated with conventional housing. I also appreciate that there are funding constraints that limit scope of highway works. Under these circumstance, some flexibility could be exercised in provision for car parking, and provision for servicing and deliveries, however, I consider that the proposed development warrants improved provision for footways along the site frontage and this should allow for reinstatement of existing redundant crossovers / dropped kerbs.</p>	<ul style="list-style-type: none"> Construction Management/Logistics Plan required by Condition The proposed development does not propose any highway works. In the absence of any works being made to the highway, a s278 agreement would not be required. A request has also been made for the development to deliver highway improvements and provide a public footway along the site frontage, so that the northern side of Ermine Road has a continuous footway connecting to the High Road. Given the temporary nature of the development the improvements could be superseded after the 7 year period, so it is unreasonable and unnecessary for the development to provide this. 												
Carbon Management (Energy, offset, overheating, sustainability)	<p>Carbon Management Response 16/12/2020</p> <p>On 15/12/2020, the applicant submitted a revised Carbon Reduction Statement – ModulHaus Ermine Road (dated December 2020).</p> <p>It confirms:</p> <ul style="list-style-type: none"> The use of SAP10 and SAP10.1 carbon factors; only SAP10 carbon factors will be used within the reporting. Based on SAP10, the energy hierarchy is: <table border="1"> <thead> <tr> <th></th><th colspan="2">Residential</th></tr> <tr> <th></th><th>tCO₂</th><th>%</th></tr> </thead> <tbody> <tr> <td>Baseline emissions</td><td>27.43</td><td></td></tr> <tr> <td>Be Lean savings</td><td>4.6</td><td>16.81%</td></tr> </tbody> </table>		Residential			tCO ₂	%	Baseline emissions	27.43		Be Lean savings	4.6	16.81%	<ul style="list-style-type: none"> Conditions have been recommended which require this.
	Residential													
	tCO ₂	%												
Baseline emissions	27.43													
Be Lean savings	4.6	16.81%												

Stakeholder	Question/Comment	Response															
	<table border="1"> <tr> <td>Be Clean savings</td><td>0</td><td>0%</td></tr> <tr> <td>Be Green savings</td><td>11.6</td><td>42.3%</td></tr> <tr> <td>Cumulative savings</td><td>16.2</td><td>59.1%</td></tr> <tr> <td>Carbon shortfall to offset (tCO₂)</td><td colspan="2">11.21</td></tr> <tr> <td>Carbon offset contribution</td><td colspan="2">£95 x 7 years x 11.21 tCO₂/year = £7,454.65</td></tr> </table> <ul style="list-style-type: none"> - A carbon offset contribution of £7,454.65 - Energy demand of the development at 22.26 MWh/year - MVHR efficiency of 81% - The ASHPs will not be used for active cooling - ASHP with a SCoP 2.6 <p>Proposed Planning Condition</p> <p>Energy Strategy The development shall be constructed in strict accordance with the Carbon Reduction Statement – ModulHaus Ermine Road prepared by Volumetric Modular Ltd (dated December 2020), Overheating, MVHR, ASHP Technical Information Report prepared by Hill (dated 5 October 2020), and the TM59 Overheating Study prepared by The Richards Design Partnership (dated November 2020). This shall include the agreed carbon reduction of 59% beyond a Building Regulations 2013 compliant building (with SAP10 carbon factors). The energy efficient materials and air source heat pumps shall be maintained for the period of 7 years.</p> <p>Confirmation of this must be submitted to the local authority at least 6 months of completion on site for approval and the applicant must allow for site access if required to verify delivery.</p> <p>The Council should be notified if the applicant alters any of the measures and standards set out in the approved energy strategy. Any alterations should be presented with justification and new standards for approval by the Council. Should the agreed target not be able to be achieved on site through energy measures as set</p>	Be Clean savings	0	0%	Be Green savings	11.6	42.3%	Cumulative savings	16.2	59.1%	Carbon shortfall to offset (tCO ₂)	11.21		Carbon offset contribution	£95 x 7 years x 11.21 tCO ₂ /year = £7,454.65		
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Carbon offset contribution	£95 x 7 years x 11.21 tCO ₂ /year = £7,454.65																

Stakeholder	Question/Comment	Response
	<p>out in the aforementioned strategy, then any shortfall should be offset at the cost of £2,850 per tonne of carbon.</p> <p>Reason: To ensure the development can comply with the Energy Hierarchy in line with London Plan 2016 Policy 5.2, draft New London Plan (Intend to Publish) Policy SI2 and Local Plan Policy SP4.</p>	
<p>Carbon Management (Pollution – Contamination & Air Quality)</p>	<p><u>Re: Planning Application HGY/2020/2794 on Land to the North of Ermine Road N15</u></p> <p>Thanks for contacting the Carbon Management Team (Pollution) regarding the above planning application for temporary planning permission for a period of 7 years to provide 38 modular residential homes for use as accommodation for the homeless with associated cycle storage and refuse storage and I will like to comment as follows.</p> <p>Having considered all the submitted supportive information most especially, the planning statement prepared by Sphere 25 Planning Consultancy Ltd dated November 2020 taken note of the fact that (the site is bordered by a designated ecological corridor with plan for some landscaped amenity area in the centre overlooked by all units with grassed areas/soft landscaping including a new central grassed areas and the fact that the warranty of the modular buildings will not allow the provision of PV panels), Overheating, MVHR, ASHP Technical Information Report dated 5th October 2020 taken note of the (use of community heating) and Phase I Geo-Environmental Assessment with reference DS-21906G-20-420 prepared by IDOM Merebrook Limited dated October 2020 taken note of (Sections 2.2.3, 2.2.7, 2.2.10, 2.3.2, 2.3.3, 2.13.3 and 3 (Conclusions) as well as Table 2: Summary of the key features shown on historic maps and Table 4: Preliminary Conceptual Model), please be advise that we have no objection to the development in relation to AQ and Land Contamination but the</p>	<ul style="list-style-type: none"> • Conditions have been recommended which require this.

Stakeholder	Question/Comment	Response
	<p>following planning conditions and informative are recommend should planning permission be granted.</p> <p>1. <u>Land Contamination</u> Before development commences other than for investigative work:</p> <ol style="list-style-type: none"> Using the information already acquired from the submitted Phase I Geo-Environmental Assessment with reference DS-21906G-20-420 proposed by IDOM Merebrook Limited dated October 2020, a site investigation shall be designed for the site using information obtained from the desktop study and Conceptual Model. The site investigation must be comprehensive enough to enable; a risk assessment to be undertaken, refinement of the Conceptual Model, and the development of a Method Statement detailing the remediation requirements. The risk assessment and refined Conceptual Model shall be submitted, along with the site investigation report, to the Local Planning Authority which shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site. Where remediation of contamination on the site is required, completion of the remediation detailed in the method statement shall be carried out and; A report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority before the development is occupied. <p>Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety.</p> <p>2. <u>Unexpected Contamination</u> If, during development, contamination not previously identified is found to be present at the site then no further development (unless</p>	

Stakeholder	Question/Comment	Response
	<p>otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved.</p> <p>Reasons: To ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable levels water pollution from previously unidentified contamination sources at the development site in line with paragraph 109 of the National Planning Policy Framework.</p> <p>3. <u>Construction Environmental Management Plans</u></p> <p>a. Development shall not commence (other than demolition) where applicable until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the local planning authority.</p> <p>The following applies to above:</p> <p>a) The DEMP/CEMP shall include a Construction Logistics Plan (CLP) and Air Quality and Dust Management Plan (AQDMP). b) The DEMP/CEMP shall provide details of how demolition/construction works are to be undertaken respectively and shall include:</p> <p>i. A construction method statement which identifies the stages and details how works will be undertaken; ii. Details of working hours, which unless otherwise agreed with the Local Planning Authority shall be limited to 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 on Saturdays; iii. Details of plant and machinery to be used during demolition/construction works; iv. Details of an Unexploded Ordnance Survey; v. Details of the waste management strategy; vi. Details of community engagement arrangements;</p>	

Stakeholder	Question/Comment	Response
	<p>vii. Details of any acoustic hoarding;</p> <p>viii. A temporary drainage strategy and performance specification to control surface water runoff and Pollution Prevention Plan (in accordance with Environment Agency guidance);</p> <p>ix. Details of external lighting; and,</p> <p>x. Details of any other standard environmental management and control measures to be implemented.</p> <p>c) The CLP will be in accordance with Transport for London's Construction Logistics Plan Guidance (July 2017) and shall provide details on:</p> <p>i. Monitoring and joint working arrangements, where appropriate;</p> <p>ii. Site access and car parking arrangements;</p> <p>iii. Delivery booking systems;</p> <p>iv. Agreed routes to/from the Plot;</p> <p>v. Timing of deliveries to and removals from the Plot (to avoid peak times, as agreed with Highways Authority, 07.00 to 9.00 and 16.00 to 18.00, where possible); and</p> <p>vi. Travel plans for staff/personnel involved in demolition/construction works to detail the measures to encourage sustainable travel to the Plot during the demolition/construction phase; and</p> <p>vii. Joint arrangements with neighbouring developers for staff parking, Lorry Parking and consolidation of facilities such as concrete batching.</p> <p>d) The AQDMP will be in accordance with the Greater London Authority SPG Dust and Emissions Control (2014) and shall include:</p> <p>i. Mitigation measures to manage and minimise demolition/construction dust emissions during works;</p> <p>ii. Details confirming the Plot has been registered at http://nrmm.london where applicable;</p> <p>iii. Evidence of Non-Road Mobile Machinery (NRMM) and plant registration shall be available on site in the event of Local Authority Inspection;</p> <p>iv. An inventory of NRMM currently on site (machinery should be regularly serviced, and service logs kept on site, which includes proof of emission limits for equipment for inspection);</p> <p>v. A Dust Risk Assessment for the works; and</p> <p>vi. Lorry Parking, in joint arrangement where appropriate.</p>	

Stakeholder	Question/Comment	Response
	<p>Reason: To safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality.”</p>	
<p>Nature Conservation / Ecology</p>	<p>Report has highlighted:</p> <ol style="list-style-type: none"> 1. There is negligible ecological interest on the site and no remaining scope for protected species to use the site in any significant way. However, bats are known to be present foraging within the Tottenham Railsides SINC and ensuring the risk of light spill onto the SINC is minimised by careful placement of any external lighting and ensuring directional shading. The SINC is though directly adjacent and young and semi-mature trees are close to the site. Care should be taken not the damage the root zones or the canopies of these trees. 2. The report has already set out measures required to ensure protection of the existing adjacent trees safeguarding the Root Protection Zones from disturbance and compaction. The external lighting design along the northern boundary needs to minimise light spill into the adjacent SINC. <p>Mitigating measures necessary to protect the adjacent SINC, namely:</p> <ul style="list-style-type: none"> • Establish root protection zones and canopy protection for boundary tress within the SINC; • Ensure light spill onto the SINC is minimised by controlling light placement and design; • Provide a robust fence for the SINC to ensure access is restricted. 	<ul style="list-style-type: none"> • Conditions have been recommended which require this.

Stakeholder	Question/Comment	Response
	<p>I am happy with the report and mitigating measures proposed and would suggest these are conditioned into the development.</p>	
<p>Waste</p>	<p>RE: Planning Application HGY/2018/2794</p> <p>LOCATION: Land to the North of Ermine Road N15</p> <p>Further to your request concerning the above planning application I have the following comments to make:</p> <p>Street-based households receiving kerbside collection services require space for the 'Standard kerbside collection full set' to be left for collection within the area of the property as close as possible to the access point to the property for collection teams. Details of the 'Standard kerbside collection full set' are given below.</p> <p>x Wheelie bins or bulk waste containers must be provided for household collections.</p> <p>Wheelie bins must be located no further than 25 metres from the point of collection.</p> <p>x Bulk waste containers must be located no further than 10 metres from the point of collection.</p> <p>x Route from waste storage points to collection point must be as straight as possible with no kerbs or steps. Gradients should be no greater than 1:20 and surfaces should be smooth and</p>	<ul style="list-style-type: none"> • A condition is attached which would require the codes, keys, transponders or any other type of access equipment to be provided to the Council and for the access to the waste storage to remain unobstructed and within 10m from Ermine Road on collection day. This would ensure suitable provision is provided.

Stakeholder	Question/Comment	Response
	<p>sound, concrete rather than flexible. Dropped kerbs should be installed as necessary.</p> <p>x If waste containers are housed, housings must be big enough to fit as many containers as are necessary to facilitate once per week collection and be high enough for lids to be open and closed where lidded containers are installed. Internal housing layouts must allow all containers to be accessed by users. Applicants can seek further advice about housings from Waste Management if required.</p> <p>x Waste container housings may need to be lit so as to be safe for residents and collectors to use and service during darkness hours.</p> <p>x All doors and pathways need to be 200mm wider than any bins that are required to pass through or over them.</p> <p>x If access through security gates/doors is required for household waste collection, codes, keys, transponders or any other type of access equipment must be provided to the council. No charges will be accepted by the council for equipment required to gain access.</p> <p>Waste collection vehicles require height clearance of at least 4.75 metres. Roads required for access by waste collection vehicles must be constructed to withstand load bearing of up to 26 tonnes.</p> <p>x Adequate waste storage arrangements must be made so that waste does not need to be placed on the public highway other than immediately before it is due to be collected. Further detailed advice can be given on this where required.</p> <p>x Other comments as follows:</p> <p>Proposal: Temporary planning permission for a period of 7 years to provide 38 modular residential homes for use as</p>	

Stakeholder	Question/Comment	Response
	<p>accommodation for the homeless with associated cycle storage and refuse storage.</p> <p>This application will need the following</p> <p>5 x 1100L waste receptacle for refuse 3 x 1100L waste receptacle for dry recycling</p> <p>This application does not confirm the following points.</p> <ul style="list-style-type: none"> • Bulk waste containers must be located no further than 10 metres from the point of collection. • Route from waste storage points to collection point must be as straight as possible with no kerbs or steps. Gradients should be no greater than 1:20 and surfaces should be smooth and sound, concrete rather than flexible. Dropped kerbs should be installed, as necessary. • Waste collection vehicles must be able to enter and exit the development using forward motion gears. • Also check all comments provide above and below are followed. <p>The above planning application has been given a RAG traffic light status of AMBER for waste storage and collection.</p>	
<p>Lead Local Flood Authority (LLFA) - Drainage / Flooding (SuDS)</p>	<p>We've now reviewed the drawing and the FRA, for this proposed site, the LLFA, have a couple of points to make. The rainfall data in the Micro-drainage report needs to be FEH, and not FSR, as this doesn't provide the most up to date data, this will need to be updated as per the Haringey, guidance and re-submitted.</p> <p>A completed pro-forma will need to be provided in due course, and evidence that Thames Water, have given consent to connect to their network and capacity exists to receive the surface water.</p> <p>Confirmation will need to be provided with regards to the units not being placed within 8m, of the culvert as per the advice given by the EA.</p>	<ul style="list-style-type: none"> • Conditions have been recommended which require this.

Stakeholder	Question/Comment	Response
	<p>The LLFA, accept in principal the proposed controlled discharge rate of 5 l/s, and the proposed SuDS, solutions that include an attenuation system and permeable paving throughout the site. A comprehensive management maintenance schedule has been provided that will see the system function effectively for the duration of the site.</p> <p>The LLFA, are happy for the proposal to proceed at this stage.</p>	
EXTERNAL		
Environment Agency (EA)	<p>Based on our review of the submitted documents we object to this application due to its proximity (within 3 metres) to a culverted main river, the Stonebridge Brook. As submitted, it is unlikely that we would grant a flood risk activity permit for this application.</p> <p><i>Since this initial objection discussions between the applicant and the EA have been ongoing. Condition 18 has been drafted to resolve the issue but at the time of drafting the report the EA have not yet confirmed if it meets their requirements.</i></p>	<ul style="list-style-type: none"> • The applicant has employed consultants to survey the area who have only located a Thames Water surface water sewer network which is 23.9m away at its closest point. The survey information indicates that no other subterranean waterways have been located closer to the boundary. The applicant has contacted Thames Water to see if they can confirm that the sewer is the adopted watercourse – A response to this has not yet been received. • This has been provided to the EA who expect to withdraw their objection and impose a condition if necessary. • Condition 18 is recommended as a fallback. • An update on this matter will be provided as an addendum to this report.

Stakeholder	Question/Comment	Response
<p>London Fire Brigade</p>	<p>The London Fire Commissioner (the Commissioner) is the fire and rescue authority for London. The Commissioner is responsible for enforcing the Regulatory Reform (Fire Safety) Order 2005 (The Order) in London.</p> <p>The Commissioner has been consulted with regard to the above-mentioned premises and makes the following observations:</p> <p>The Commissioner is not satisfied with the proposals for fire fighting access.as access does not meet the requirements of part B5 of the building regulations.</p> <p>---</p> <p>We need to get to within 45 meters of fire hose length to the farthest room on the farthest block and from the plans we can not or they may have to provide sprinklers throughout all blocks</p>	<ul style="list-style-type: none"> • The applicant has provided a drawing which indicates that this would be possible, and this has been provided to the LFB for further comment • An update on this matter will be provided as an addendum to this report.
<p>Designing out Crime Officer (Metropolitan Police)</p>	<p>With reference the above application we have now had an opportunity to examine the details submitted and would like to offer the following comments, observations and recommendations. These are based on relevant information to this site (Please see Appendices), including my knowledge and experience as a Designing Out Crime Officer and as a Police Officer.</p> <p>It is in our professional opinion that crime prevention and community safety are material considerations because of the mixed use, complex design, layout and the sensitive location of the development. To ensure the delivery of a safer development in line with L.B. Haringey DMM4 and DMM5 (See Appendix), we have highlighted some of the main comments we have in relation to Crime Prevention (Appendices 1).</p> <p>We have met with the project Architects and Haringey Team regarding the development to discuss Crime Prevention and Secured by Design (SBD) for the overall site and are satisfied that the development aims to achieve SbD accreditation ensuring the safety and security of the occupants of the development. At this</p>	<ul style="list-style-type: none"> • A Condition is recommended that a 'Secured by Design' accreditation shall be obtained for the development prior to occupation and the features that are agreed to be necessary for security are retained for the lifetime of the development. This would ensure that the development is safe and secure and would reduce crime and the fear of crime.

Stakeholder	Question/Comment	Response
	<p>point it can be difficult to design out any issues identified. At best crime can only be mitigated against, as it does not fully reduce the opportunity of offences.</p> <p>In principle we have no objections to the site as long as proportionate measures are placed to satisfy any concerns over the overall layout of the development and its effect on the local community and the residents of the development.</p> <p>We have recommended the attaching of suitably worded conditions and an informative offering recommendations to minimize crime and the fear of crime within the development and the local community.</p> <p>The comments made can be easily mitigated if the Architects or Managing Agency were to maintain and open dialogue regarding the project prior to completion, throughout its build and by following the advice given. This can be achieved by the below Secured by Design conditions being applied (Section 2). If the Conditions are applied, we request the completion of the relevant SBD application forms at the earliest opportunity. The project has the potential to achieve a Secured by Design Accreditation if advice given is adhered to.</p> <p>Section 2 - Secured by Design Conditions and Informative: In light of the information provided, we request the following Conditions and Informative:</p> <p>Conditions: Prior to the first occupation of each building or part of a building or use, a 'Secured by Design' accreditation shall be obtained for such building or part of such building or use and thereafter all features are to be permanently retained.</p> <p>Informative: The applicant must seek the continual advice of the Metropolitan Police Service Designing Out Crime Officers (DOCOs) to achieve accreditation. The services of MPS DOCOs are available Free of</p>	

Stakeholder	Question/Comment	Response
	<p>Charge and can be contacted via docomailbox.ne@met.police.uk or 0208 217 3813.</p> <p>Section 3 - Conclusion:</p> <p>We would ask that our department's interest in this planning application is noted and that we are advised of the final Decision Notice, with attention drawn to any changes within the development and subsequent Condition that has been implemented with crime prevention, security and community safety in mind.</p> <p>Should the Planning Authority require clarification of any of the recommendations/comments given in the appendices please do not hesitate to contact us at the above office.</p> <p>Yours sincerely,</p> <p>Lee Warwick 463TP Designing Out Crime Officer Metropolitan Police Service</p>	

Stakeholder	Question/Comment	Response
Transport for London	<ul style="list-style-type: none"> TfL have no objections to the proposal; they require further information as set out below: <p><u>Cycle Parking</u></p> <ul style="list-style-type: none"> 1 cycle parking space should be provided for each home (Total = 37). The applicant should provide at least 2 short-stay cycle parking spaces and at least 5% (2) will need to be provided for larger and adapted cycles. <p><u>Construction Management/Logistics Plan (CMP/CLP)</u></p> <ul style="list-style-type: none"> TfL will require a construction logistics plan which highlights: <ul style="list-style-type: none"> the timeline of construction and the highway safety strategy along the access roads. And includes: the delivery times of the construction vehicles and a swept path analysis for crane vehicles carrying the necessary equipment. construction deliveries outside peak times with allocated delivery slots for site management and vehicles which are recognised in the FORS or similar. Temporary obstructions during the construction and delivery must be kept to a minimum and should not encroach on the clear space needed to provide safe passage for pedestrians or obstruct the flow of traffic on the TLRN. 	<ul style="list-style-type: none"> There is a shortfall of 1 cycle parking space which is due to insufficient room being available to place another cycle stand beneath the covered walkways. An additional stand would affect accessibility and would not be covered so would not be useable. The shortfall is considered acceptable given the specialist nature of the use which should not require maximum provision and due to it being only a deficiency of 1. A condition requiring a Construction Management/Logistics Plan (CMP/CLP) to be submitted and approved prior to the craning of the buildings on to the site is recommended.

Stakeholder	Question/Comment	Response
Thames Water	<p>Re: LAND TO THE NORTH OF , ERMINE ROAD, LONDON, N15 6DQ</p> <p>Waste Comments With regard to SURFACE WATER drainage, Thames Water would advise that if the developer follows the sequential approach to the disposal of surface water we would have no objection. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Should you require further information please refer to our website. https://developers.thameswater.co.uk/Developing-a-large-site/Apply-and-pay-for-services/Wastewaterservices</p> <p>We would expect the developer to demonstrate what measures will be undertaken to minimise groundwater discharges into the public sewer. Groundwater discharges typically result from construction site dewatering, deep excavations, basement infiltration, borehole installation, testing and site remediation. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Should the Local Planning Authority be minded to approve the planning application, Thames Water would like the following informative attached to the planning permission: "A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing trade.effluent@thameswater.co.uk . Application forms should be completed on line via www.thameswater.co.uk. Please refer to the Wholesale; Business customers; Groundwater discharges section.</p>	<ul style="list-style-type: none"> • Informatives Added

Stakeholder	Question/Comment	Response
	<p>The proposed development is located within 15 metres of our underground waste water assets and as such we would like the following informative attached to any approval granted. "The proposed development is located within 15 metres of Thames Waters underground assets and as such, the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures.https://developers.thameswater.co.uk/Developing-a-large-site/Planning-yourdevelopment/ Working-near-or-diverting-our-pipes. Should you require further information please contact Thames Water. Email: developer.services@thameswater.co.uk Phone: 0800 009 3921 (Monday to Friday, 8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern Road, Reading, Berkshire RG1 8DB</p> <p>There are public sewers crossing or close to your development. If you're planning significant work near our sewers, it's important that you minimize the risk of damage. We'll need to check that your development doesn't limit repair or maintenance activities, or inhibit the services we provide in any other way. The applicant is advised to read our guide working near or diverting our pipes. https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-nearor-diverting-our-pipes.</p> <p>Thames Water would recommend that petrol / oil interceptors be fitted in all car parking/washing/repair facilities. Failure to enforce the effective use of petrol / oil interceptors could result in oil-polluted discharges entering local watercourses.</p> <p>Thames Water would advise that with regard to WASTE WATER NETWORK and SEWAGE TREATMENT WORKS infrastructure capacity, we would not have any objection to the above planning application, based on the information provided.</p>	

Stakeholder	Question/Comment	Response
	<p>Water Comments</p> <p>There are water mains crossing or close to your development. Thames Water do NOT permit the building over or construction within 3m of water mains. If you're planning significant works near our mains (within 3m) we'll need to check that your development doesn't reduce capacity, limit repair or maintenance activities during and after construction, or inhibit the services we provide in any other way. The applicant is advised to read our guide working near or diverting our pipes.</p> <p>https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-nearor-diverting-our-pipes</p> <p>If you are planning on using mains water for construction purposes, it's important you let Thames Water know before you start using it, to avoid potential fines for improper usage. More information and how to apply can be found online at thameswater.co.uk/buildingwater.</p> <p>On the basis of information provided, Thames Water would advise that with regard to water network and water treatment infrastructure capacity, we would not have any objection to the above planning application.</p> <p>Thames Water recommends the following informative be attached to this planning permission. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.</p>	

Stakeholder	Question/Comment	Response
<p>The Greater London Archaeological Advisory Service (GLAAS)</p>	<p>Land to the North of Ermine Road London N15 Temporary planning permission for a period of 7 years to provide 38 modular residential homes for use as accommodation for the homeless with associated cycle storage and refuse storage.</p> <p>Recommend No Archaeological Requirement</p> <p>Thank you for your consultation dated 10 November 2020.</p> <p>The Greater London Archaeological Advisory Service (GLAAS) gives advice on archaeology and planning. Our advice follows the National Planning Policy Framework (NPPF) and the GLAAS Charter.</p> <p>NPPF section 16 and the Draft London Plan (2017 Policy HC1) make the conservation of archaeological interest a material planning consideration.</p> <p>Having considered the proposals with reference to information held in the Greater London Historic Environment Record and/or made available in connection with this application, I conclude that the proposal is unlikely to have a significant effect on heritage assets of archaeological interest.</p> <p>In view of the limited groundworks connected with the modular scheme, I do not advise archaeological measures in this case. No further assessment or conditions are therefore necessary.</p> <p>This response relates solely to archaeological considerations. If necessary, Historic England's Development Advice Team should be consulted separately regarding statutory matters.</p>	<ul style="list-style-type: none"> • Noted

Stakeholder	Question/Comment	Response
<p>Natural England</p>	<p>Thank you for getting in touch about the above consultation, please find Natural England's response below.</p> <p>Natural England has no comment on this application with regards to designated sites. However, Natural England notes the importance of Sustainable Urban Drainage Systems (SuDS) and that there may be opportunities for green infrastructure and biodiversity enhancements on the development site.</p> <p>This application may provide opportunities to incorporate features into the design which are beneficial to wildlife, such as the incorporation of roosting opportunities for bats or the installation of bird nest boxes. The authority should consider securing measures to enhance the biodiversity of the site from the applicant, if it is minded to grant permission for this application. This is in accordance with Paragraph 118 of the NPPF.</p> <p>Natural England is supportive of the inclusion of living roofs where they are appropriate to developments. Research indicates that the benefits of green roofs include reducing run-off and thereby the risk of surface water flooding; reducing the requirement for heating and air-conditioning; and providing habitat for wildlife. We would advise your council that some living roofs, such as sedum matting, can have limited biodiversity value in terms of the range of species that grow on them and habitats they provide. Natural England would encourage you to consider the use of bespoke solutions based on the needs of the wildlife specific to the site and adjacent area.</p> <p>We also highlight paragraphs 163 and 165 of the NPPF which relate to sustainable drainage systems. We encourage use of Sustainable urban Drainage Systems (SuDS) on site, and it may be possible for SuDS measures to provide multifunctional benefits such as biodiversity improvements.</p> <p>Natural England has not assessed this application for impacts on protected species. Natural England has published Standing</p>	<ul style="list-style-type: none"> • Noted – Ecology conditions recommended

Stakeholder	Question/Comment	Response
	<p>Advice which you can use to assess impacts on protected species or you may wish to consult your own ecology services for advice.</p> <p>It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.</p> <p>Your authority has a duty to have regard to conserving biodiversity as part of your decision making. Conserving biodiversity can also include restoration or enhancement to a population or habitat. Further information is available here.</p> <p>Kind regards, Isabella Jack</p> <p>Isabella Jack – Sustainable Development Adviser Thames Solent Team Natural England</p>	

Stakeholder	Question/Comment	Response
<p><i>[Rail]</i></p> <p>Network Rail</p>	<ul style="list-style-type: none"> • Network Rail have no objections to the proposals. 	<ul style="list-style-type: none"> • Noted
<p>London Overground</p>	<ul style="list-style-type: none"> • London Overground Infrastructure had no comments on the proposals. 	<ul style="list-style-type: none"> • Noted
<p>Crossrail 2 (Safeguarding Direction)</p>	<ul style="list-style-type: none"> • The site is an Area of Surface Interest in the 2015 Crossrail 2 Safeguarding Directions. In the event of a decision to progress the Crossrail 2 project the land may be subject to compulsory purchase to provide a worksite for the future delivery of the Crossrail 2 scheme. 	<ul style="list-style-type: none"> • London Plan (2016) Policy 6.4 requires the Mayor will work with strategic partners to improve the public transport system in London by developing Crossrail 2. Publication London Plan Policy T3 under para. D also requires development decisions to give priority to securing and supporting the delivery of Crossrail 2. As the site is safeguarded – only temporary solutions would be realistic on the site given the capital expenditure for any longer term installations. This limits the opportunity for optimising the site and delivering housing. The proposal responds to these constraints with a modular build that provides specialist housing for a specific need.

Appendix 4 Representations from Neighbours

- 206 Neighbouring properties were notified of the application and 59 letters of objection have been received. The main objections are listed below with Officer responses listed in the right hand column.
- 1 letter of support has been received which stated the following:
 - *Despite the propaganda from neighbours which includes a note through the door urging all local residents to reject this application, I am pleased to support it. Homeless people need somewhere to live. As the Lord Jesus Himself said 'it is more blessed to give than receive'.*
- A petition against the proposal was also received which indicates that residents from 54 local households wish to object to the proposals. It is understood that some of the signatories wish to remain anonymous, so their names and addresses were not displayed on the public register. Anonymous objections are generally considered to have less weight than those where names and addresses are provided.

Potential for an increase in crime (antisocial behaviour)	
<u>Objection</u>	<u>Response</u>
<ul style="list-style-type: none"> • Residents who live near this site are concerned that there could be an increase in anti-social behaviour. • There appears to be no specific plan in place to ensure this does not happen other than the existing structures which are overstretched. 	<ul style="list-style-type: none"> • All occupants would be referred to the service using a robust referral process, led by the Haringey Street Outreach Team and the Council's Homelessness Pathway Team. • There would be no direct access to the service without a prior referral and assessment of suitability. This ensures that vulnerabilities and support needs are explored with each person before they move in. This approach ensures the safety of the occupants as well as that of others. • The site design is intended to reduce opportunities for anti-social behaviour by creating a well-lit and visible environment with appropriate but not invasive CCTV. There would always be a member of staff on site. This would be a support worker in the daytime and a concierge

	<p>at night. The staff office is positioned with good visibility across the site which would enable the management of visitors to the site at all times.</p> <ul style="list-style-type: none"> • The scheme has also been reviewed by a Designing out Crime Officer at the Metropolitan Police who has stated that they cannot see any reason why the development cannot achieve accreditation according to Secured by Design (SBD) guidelines. • Condition 17 has also been recommended which requires SBD accreditation to be achieved prior to occupation.
<ul style="list-style-type: none"> • There is little confidence that the site will be managed well in terms of general maintenance - landscaping, refuse collection, car parking but also managing the day to day needs of vulnerable people who live in these units. • Very vulnerable people will be housed here yet there seems to be very little in the way of facilities. 	<ul style="list-style-type: none"> • The homes would be steppingstones to help people transition from rough sleeping. The proposal would give them time to adjust to living in their own place and to develop their independent living skills. Following this they will move on to their own permanent homes. • The service would operate year round and would be staffed 24 hours per day by a combination of specialist support workers and night concierge. The support workers would help to manage the day to day needs of residents whilst also be present to report any issues that may occur in relation to general maintenance. • The homes were designed by Hill architects who worked closely with several leading homeless charities including The Connection at St Martins in the Field on Trafalgar Square. Hill undertook several stakeholder and user group forums to discuss the design in depth. • The units are thoughtfully designed through consultation with individuals who have slept rough or have had experiences of homelessness. They would feel homely and the space would be well utilised.

Noise & disturbance	
<u>Objection</u>	<u>Response</u>
<ul style="list-style-type: none"> There would be undue noise from the new residents. 	<ul style="list-style-type: none"> There would always be a member of staff present who could deal with any issues in this regard.
<ul style="list-style-type: none"> The build will undoubtedly cause disruption and inconvenience to residents if it commences. 	<ul style="list-style-type: none"> The construction method would be one of modular build which is significantly quicker than traditional construction and takes a few days. Condition 6 requires a Construction Management Plan/Logistics Plan to be submitted which would ensure that disruption resulting from construction is minimised. This will safeguard residential amenity, reduce congestion, and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality.
Impact on neighbouring amenity & parking	
<u>Objection</u>	<u>Response</u>
<ul style="list-style-type: none"> I am concerned for the privacy of my property - said units are facing and directly overlook my house and bedroom windows. 	<p>The orientation of the buildings would minimise overlooking. Block A would be the closest block to the existing properties to the south of Ermine Road.</p> <ul style="list-style-type: none"> Block A would not directly face the properties to the south of Ermine Road and given the distances between them, the level of overlooking would be commensurate with the character of the locality. The proposed units also have relatively modest windows and given the siting and orientation; the privacy of existing residents would not be adversely affected to a material degree by the proposal.

<ul style="list-style-type: none"> This area is too small for more properties and with the parking situation at present 	<ul style="list-style-type: none"> The site is close to alternative and accessible means of transport, it has a high PTAL, and a Controlled Parking Zone (CPZ) exists near to the site. One parking space would be provided for disabled people in line with Publication London Plan standards. It therefore provides a policy compliant level of parking. It is highly unlikely given the above and the length of tenancy that residents would own a car. In any event, Condition 4 is recommended which would ensure that the development would not be occupied other than through a lease/license that ensures that residents are obligated not to apply for a parking permit for any CPZ.
<ul style="list-style-type: none"> There are already problems with waste management and the proposal would make this worse. 	<ul style="list-style-type: none"> The proposal provides sufficient waste storage through the provision of a refuse store which holds 5 x 1100L waste receptacles for refuse & 3 x 1100L waste receptacles for dry recycling. The plans indicate that the waste containers would be located no further than 10 metres from the point of collection (which would be on Ermine Road). The site would also have staff on site 24 hours a day who can respond to any issues relating to missed waste collections or problems related to waste on the site.
<ul style="list-style-type: none"> There will be issues with light pollution and overshadowing 	<ul style="list-style-type: none"> There would be lighting in the scheme, that would be commensurate with what is in the locality and, as such, would not result in a material change that would result in harm to the amenity of nearby residents.

	<ul style="list-style-type: none"> Given the low height of the buildings (2 storeys) and the distance to neighbours there would be no overshadowing of adjacent properties.
Design	
<u>Objection</u>	<u>Response</u>
<ul style="list-style-type: none"> The units are not in coordination with the properties on the estate and would stand out and be an eyesore. Modular Homes of a bright Orange appearance how do they fit into the character and appearance of the Estate. 	<ul style="list-style-type: none"> The Council's design officer has been consulted and notes that the development provides an exemplary example of modular building design, in a form that is of gentle density and appearance – which is compatible with the varied but mostly residential context. The 2 storey scale of development would be within and below the prevailing height and bulk of the surroundings. The rhythm of windows and doors, panels, and colours, would provide an attractive elevational / fenestration pattern of a comparable scale and proportion to the ordinary domestic surroundings, whilst being clearly of contemporary appearance expressing its progressive modern construction.
Scale/no. of units & the size of the units	
<u>Objection</u>	<u>Response</u>
<ul style="list-style-type: none"> There are too many units on a small site. 	<ul style="list-style-type: none"> In line with Publication London Plan Policy D3 Optimising site capacity through the design-led approach – the development makes the best use of land by following a design led approach that optimises the capacity of the site.

	<ul style="list-style-type: none"> • This is specialist housing that meets the specific needs of the prospective residents. • The maximum number of homes are being delivered so that housing and support can be provided for as many people as possible. • The site layout and design has been carefully considered so that it meets planning requirements as well as the specific needs of prospective residents.
<ul style="list-style-type: none"> • It would be inhuman to cram up 38 modular houses in a small space, for people, who are already facing traumatic challenges in life. 	<ul style="list-style-type: none"> • The proposed homes would be 24sqm which is smaller than the 37sqm recommended for a 1-bed flat with a shower room in the Technical housing standards produced by the Department for Communities and Local Government. They have been designed as specialist housing for temporary accommodation to support people who have been street homeless at a low cost. • The homes have been designed to be large enough to enable a good quality home for people that have experienced homelessness, while ensuring residents can manage the home and are not vulnerable to exploitation through 'cuckooing' (a practice where people take over a person's home and use the property to facilitate exploitation).

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Report for:	Planning Sub Committee Date: 08 March 2021	Item Number:	
Title:	Update on major proposals		
Report Authorised by:	Dean Hermitage		
Lead Officers:	John McRory & Robbie McNaugher		
Ward(s) affected: All	Report for Key/Non Key Decisions:		

1. Describe the issue under consideration

- 1.1 To advise the Planning Sub Committee of major proposals that are currently in the pipeline. These are divided into those that have recently been approved; those awaiting the issue of the decision notice following a committee resolution; applications that have been submitted and are awaiting determination; and proposals which are the being discussed at the pre-application stage. A list of current appeals is also included.

2. Recommendations

- 2.1 That the report be noted.

3. Background information

- 3.1 As part of the discussions with members in the development of the Planning Protocol 2014 it became clear that members wanted be better informed about proposals for major development. Member engagement in the planning process is encouraged and supported by the National Planning Policy Framework 2019 (NPPF). Haringey is proposing through the new protocol to achieve early member engagement at the pre-application stage through formal briefings on major schemes. The aim of the schedule attached to this report is to provide information



on major proposals so that members are better informed and can seek further information regarding the proposed development as necessary.

4. Local Government (Access to Information) Act 1985

- 4.1 Application details are available to view, print and download free of charge via the Haringey Council website: www.haringey.gov.uk. From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility. Enter the application reference number or site address to retrieve the case details.
- 4.2 The Development Management Support Team can give further advice and can be contacted on 020 8489 5504, 9.00am-5.00pm Monday to Friday.

Site	Description	Timescales/comments	Case Officer	Manager
APPLICATIONS DETERMINED AWAITING 106 TO BE SIGNED				
76-84 Mayes Road (former Caxton Road PFS), N22 6TE Caxton Road PFS HGY/2020/0795	Re-development of vacant site to provide a residential led mixed-use development comprising circa 75 C3 units and 1000sqm of commercial floorspace	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Legal agreement to be signed.	Tobias Finlayson	John McRory
Lockkeepers Cottage, Ferry Lane HGY/2020/0847	Redevelopment of the site comprising the demolition of existing buildings and the erection of a new building ranging in height from 3 to 6 storeys to accommodate 13 residential units (Use Class C3), employment floorspace (Use Class B1a) at upper ground and first floor level and retail / café floorspace (Use Class A1 / A3) at lower ground floor level, along with associated landscaping and public realm improvements, cycle parking provision, plant and storage and other associated works.	Resolution to grant given at July 2020 Committee. Negotiations on the legal agreement are ongoing.	Chris Smith	Robbie McNaugher
Northumberland Terrace 790-814) High Road, Tottenham, N17	THFC prposal for 2,700sqm (GIA) of A1/A2/A3/B1/D1/D2 floorspace and refurbishment of the Listed Buildings fronting the High Road.	Resolution to grant given at Oct 2020 Committee. Negotiations on the legal agreement are ongoing.	Graham Harrington	Robbie McNaugher
Pool Motors 7 Cross Lane N8 HGY/2020/1724	Demolition of existing buildings and erection of two buildings of five storey (Block B) and six storey (Block A) comprising flexible commercial	Members resolved to grant planning permission subject to	Valerie Okeiyi	John McRory

	floorspace (Use Class A1, A2, B1(a-c), B8, D1 and D2) at ground floor level of Block A and housing including associated hard and soft landscaping, refuse and recycling storage and car parking and cycle storage.	the signing of a section 106 legal agreement. Legal agreement to be signed.		
APPLICATIONS SUBMITTED TO BE DECIDED				
26-28 Brownlow Road	Demolition of existing buildings; erection of a part-3 and part-4 storey building comprising 23 flats; erection of 1 detached dwelling to the rear with 2 parking spaces, provision of 3 disabled parking spaces at the front; cycle, refuse and recycling storage; provision of new access onto Brownlow Road and accessway to the rear.	Under assessment. Likely to be reported to Members at April planning committee	Tobias Finlayson	John McRory
Unit 7 Unicorn works, 21-25 Garman Road N17 HGY/2020/2576	Reconstruction of the industrial unit which was recently burnt down due to fire that started in a neighbouring industrial building.	Consultation expired. No objections. S106 negotiations underway. Expected to be a delegated decision. Seeking to ensure fencing reflects Mowlem Trading Estate and design coordination with neighbouring sites.	Tania Skelli	Robbie McNaugher
Units 1-6 Unicorn works, 21-25 Garman Road N17 HGY/2020/3186	Reconstruction of the industrial unit (to replace that of a previously destroyed in the fire)	Out to consultation Seeking to ensure fencing reflects Mowlem Trading Estate	Tania Skelli	Robbie McNaugher

		and design coordination with neighbouring sites.		
109 Fortis Green VOID/2020/3396	Demolition of all existing structures and redevelopment of the site to provide 10 residential units (use class C3) comprising of 6 x residential flats and 4 mews houses and 131m2 of flexible retail/ office unit (use class A1/A3/B1) including basement car parking and other associated works.	Invalid Planning permission expired September 2019 with no implementation taking place This scheme is the same scheme approved by the S73 material amendment that was granted in 2017	Roland Sheldon	Matthew Gunning
Cross House, 7 Cross Lane N8 VOID/2021/0428	Demolition of existing building; redevelopment to provide business (Class E(g)(iii)) use at the ground, first and second floors, residential (Class C3) use on the upper floors, within a building of six storeys plus basement, provision of 7 car parking spaces and refuse storage	Invalid Documents outstanding	Valerie Okeiyi	John McRory
IN PRE-APPLICATION DISCUSSIONS				
Ashley House (Levenes)	Demolition and rebuild as 20 storey tower for 90 units, with office space	Pre-app meetings held and advice note issued.	Samuel Uff	John McRory
Wood Green Corner Masterplan	Masterplan for Wood Green Corner, as defined in draft Wood Green AAP as WG SA2 (Green Ridings House), SA3 (Wood Green Bus Garage) and SA4 (Station Road Offices)	Pre-app advice issued. Discussions to continue.	Samuel Uff	John McRory
Goods Yard White Hart Lane Banqueting Suite 819-821 High Rd	Proposal to amend previous proposals for Goods Yard and 867- 879 High Road and new development on Banqueting Suite site. Part of High Road West Masterplan Area.	Pre-app meetings held and advice note issued.	Graham Harrington	Robbie McNaugher

867-879 High Road				
Broadwater Farm	Demolition and rebuild of Northolt and Tangmere blocks to provide up to 375 homes, landscaping and public realm improvements.	Pre-app meetings and a QRP held. Public consultations ongoing.	Chris Smith	Robbie McNaugher
Mecca Bingo	250-300 residential units, replacement bingo hall and other commercial uses	Pre-app advice note issued.	Chris Smith	John McRory
Mary Fielding Guild Care Home, 103-107 North Hill	Demolition of the existing Mary Feilding Guild Care Home (Use Classes Order C2) and the redevelopment of the site to provide a new 72 bed care home with ancillary communal facilities, services and amenities.	PPA signed. Further pre-app discussions taking place.	Neil McClellan	John McRory
Cranwood House, Muswell Hill Road/Woodside Ave, N10	Redevelopment of site for residential and associated amenity space, landscaping, and parking.	Pre-application discussions ongoing. 2 nd QRP - 26 th Aug 2020. Pre-committee briefing - 11 th March. Submission expected Feb 2021	Phil Elliott	Robbie McNaugher
Remington Road, N15 6SR	Council development of open land and garages for 35 residential units and associated landscaping, public realm improvements, play space, cycling and refuse stores.	Presented as pre-app to Sept Committee QRP on 18th Nov Submission expected Feb 2021	Laurence Ackrill	Robbie McNaugher

Drapers Almshouses Edmansons Close	Amalgamation, extension and adaptation of existing almshouses to provide 22 x 3 bedroom family dwellings; and creation of additional units on site to provide 1 further 3 bedroom dwelling; 7 x 2 bedroom dwellings and 12 x 1 bedroom dwellings (specifically provided for housing for older people)	Pre-application discussions ongoing.	Tobias Finlayson	John McRory
679 Green Lanes	Redevelopment of the site to provide up to 121 new homes, new office and retail space.	Preapp note issued	Samuel Uff	John McRory
44 Hampstead Lane	Use Class C2 high quality specialist dementia care with 73 en-suite bedrooms and communal facilities	Held QRP on 03/02/2021. Preapp note sent.	Samuel Uff	John McRory
West Indian Cultural Centre Clarendon Road off Hornsey Park Road	Demolition of the three existing buildings and construction of a part 12/14 and part 6/8/10 storey building incorporating a two storey base to provide a new cultural centre, co-workspace, gym and cafe, 85 residential units and 140 co-living units, with access, public realm improvements and landscaping and car and cycle parking.	Pre-application discussions ongoing.	Tobias Finlayson	John McRory
Selby Centre	Community centre replacement and council housing with improved sports facilities and connectivity	Pre-apps meetings commenced in March. Presented to QRP in May. Talks ongoing with Officers and Enfield Council.	Phil Elliott	Robbie McNaugher
139-143 Crouch Hill	Redevelopment of 139 - 143 Crouch Hill to provide 31 residential units (3 affordable) and 55sqm commercial, with basement parking and	Pre-app meeting held on 22/01/2021.	Samuel Uff	John McRory

	additional 250sqm commercial. Maximum height of 6 storeys.	Previously 139-141 but has been extended to include no.143. Pre-app note issued.		
573-575 Lordship Lane	Redevelopment of four storey residential development of 17 units.	Pre-app advice notes issued. Three pre-app meetings and a QRP now held.	Chris Smith	John McRory
48-54 High Road, Wood Green	Redevelopment of the site to create a part 6 storey and part 8 storey mixed use development over the existing retail units at ground floor to provide 76 residential dwellings, 2,800sqm of ground floor retail, 868sqm of first floor retail and office space.	Pre-application letter issued. Revised scheme to be submitted.	Chris Smith	John McRory
25-27 Clarendon Road off Hornsey Park Road	Redevelopment of the site to provide new commercial floorspace, 66 flats over in 9 storey high building with associated parking, and amenity space.	Pre-application response issued.	Valerie Okeiyi	John McRory
Warehouse living proposals: Overbury/Eade Road, Arena Design Centre, Haringey Warehouse District	Warehouse Living and other proposals across 2 sites.	Draft framework presented for Overbury /Eade Road Sites, further pre-application meetings scheduled, PPA signed. QRP 12 February 2020	Phil Elliott	Robbie McNaugher
Warehouse living proposal - Omega Works Haringey Warehouse District	Warehouse Living and other proposals.	Pre-application discussions taking place. QRP 23 Sept 2020	Phil Elliott	Robbie McNaugher

311 Roundway (corner of Roundway and Lordship Lane)	Mixed Use Redevelopment – 70 Units	Officers have met with one landowner to seek a masterplanned approach. Impact on Bruce Caste will be considered. Pre-application discussions has not yet commenced.	Chris Smith	Robbie McNaugher
High Road West	Comprehensive redevelopment of site for residential led mixed-use scheme	Ongoing pre-application discussions taking place.	Martin Cowie	Robbie McNaugher
Gladstone House, N22	Demolition of existing buildings and erection of 15 storey mixed use commercial and residential for 44 dwellings	Pre-application report issued.	Samuel Uff	John McRory
36-38 Turnpike Lane London N8 0PS	Erection of 9 residential flats and commercial space at ground floor. (major as over 1000 square metres) (The Demolition of the existing structure and the erection of four-storey building with part commercial/residential on the ground floor and self-contained flats on the upper floors.)	Pre-application report issued.	Tania Skelli	John McRory
1 Farrer Mews London N8 8NE	Proposed development to Farrer Mews to replace existing residential, garages & Car workshop into (9 houses & 6 flats)	Second pre-application meeting arranged following revised scheme	Tania Skelli	John McRory
Osborne Grove Nursing Home/ Stroud Green Clinic	Demolition of a 32 bed respite home and clinic building. Erection of a new 70 bed care home and 10 studio rooms for semi-independent	Pre-app advice issued	Tania Skelli	John McRory

14-16 Upper Tollington Park N4 3EL	living, managed by the care home. Separate independent residential component comprising a mix of twenty self-contained 1 and 2 bedroom flats for older adults, planned on Happi principles. Day Centre for use of residents and the wider community as part of a facility to promote ageing wellness.			
Partridge Way, N22	Council development of garages and adjoining land for block of 17 residential units and associated landscaping, play space, cycling and refuse stores	Pre-application discussions ongoing. QRP – 18 th March 2020	Conor Guilfoyle	John McRory
Wat Tyler House, Boyton Road, N8	Council development of car park for block of 14 residential units and associated landscaping, play space, cycling and refuse stores.	First pre-application discussions ongoing discussions	Laurence Ackrill	John McRory
356-358 St. Ann's Road - 40 Brampton Road	Demolition of two buildings on corner of St. Ann's Rd and of coach house and end of terrace home on Brampton Rd and replacement with increased commercial and 9 self-contained homes.	Pre-application meeting held 30/07.	Phil Elliott	Robbie McNaugher
29-33 The Hale	'Shoulder' of 7 storeys and a 23-storey tower. Commercial at ground floor with residential above. Residential would comprise 366 co-living rooms or 435 rooms of student accommodation.	Pre-application meeting to be held 19/08. PPA agreed.	Phil Elliott	Robbie McNaugher

Branksome Courtenay Avenue London N6 4LP	Demolition of existing detached dwelling house incorporating ground, first and partial second floor levels, garage, ancillary pool building and link structure and provision of replacement detached dwelling house incorporating basement, ground, first and second floor levels	PPA discussions ongoing	Tania Skelli	John McRory
399-401 High Road, N17 (Formerly known as Chances)	Reordering and extension of no.399/401 High Road to form a school.	Pre-app advice issued Change of use application to be submitted with Listed Building works.	Valerie Okeiyi	Robbie McNaugher
(Part Site Allocation SA49) Lynton Road London, N8 8SL	Demolition/Part Demolition of existing commercial buildings and mixed use redevelopment to provide 75 apartments and retained office space	Pre-app issued, Discussions ongoing	Tobias Finlayson	John McRory
Land at Pinkham Way PRE/2021/0046	Open Storage (Class B8) - principle of development only	Pre-app meeting to be held 18/03/21	Tobias Finlayson	John McRory
Brunel Walk and Turner Avenue	Council development - Preliminary meeting to discuss matters of principle in relation to the siting, scale, massing of the proposed new development on Brunel Walk (c. 45 units) and the associated and comprehensive improvement/reconfiguration of the public realm/landscaping treatment on the Turner Avenue Estate.	Pre-app meeting held 17/12/20 Pre-app advice to be issued	Valerie Okeiyi	Robbie McNaugher

Chocolate Factory	Minor changes to approved block E (S96a) Changes to block B (S73) Changes to wording of some conditions (S96a) Changes to S106 (Deed of variation)	Chocolate factory review meetings with applicant (Workspace) on-going	Valerie Okeiyi	John McRory
Braemar Avenue Baptist Church, Braemar Avenue.	Demolition of dilapidated church hall, to allow construction of part 3, part 4 storey building (over basement) comprising new church hall extensions (204m2) and 16 flats. Internal and minor external alterations to adjacent listed church, together with landscaping improvements	Pre-application discussions taking place	Valerie Okeiyi	John McRory
157-159 Hornsey Park Road, Wood Green	Redevelopment of existing dilapidated construction yard to provide 40 new-build self-contained flats.	Pre-app advice issued.	Valerie Okeiyi	John McRory
PRE/2020/0246 – Far Field Sports Ground, Courtenay Avenue.	Various re-surfacing works to field and associated infrastructure	Pre-app note written up awaiting issue	Laurence Ackrill	John McRory
Major Application Appeals				
Guildens, Courtenay Avenue	Demolition of existing dwelling with retention of front facade and erection of replacement two-storey dwelling and associated extension to lower ground floor and the creation of a basement level.	Appeal submitted. Written representations. Decision expected soon.	Laurence Ackrill Manager: John McRory	

300-306 West Green Road HGY/2020/0158	Demolition of existing buildings and erection of a five-storey building (plus basement) comprising of a retail unit at ground and basement levels and nineteen residential units above; and associated landscaping and the provision of an outdoor children's play area	Appeal submitted for Written Representations procedure. No start date confirmed by the Inspectorate.	Chris Smith Manager: Robbie McNaugher
10 Gourley Street HGY/2020/1183	1000sqm+ of new office and warehouse space.	Appeal procedure changed to a Virtual Hearing and process re-started. Hearing date confirmed as 16 th March 2021.	Chris Smith Manager: Robbie McNaugher

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HARINGEY COUNCIL

PLANNING COMMITTEE

APPLICATIONS DECIDED UNDER DELEGATED POWERS BETWEEN 24/01/2021 AND 19/02/2021

BACKGROUND PAPERS

For the purpose of the Local Government (Access to Information) Act 1985, the background papers in respect of the following items comprise the planning application case file.

In addition application case files are available to view print and download free of charge via the Haringey Council website:
www.haringey.gov.uk

From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility.
Enter the application reference number or site address to retrieve the case details.

The Development Management Support Team can give further advice and can be contacted on 020 8489 5504,
9.00am - 5.00pm, Monday - Friday.

Please see Application type codes below which have been added for your information within each Ward:

Application Type codes:

ADV	Advertisement Consent
CAC	Conservation Area Consent
CLDE	Certificate of Lawfulness (Existing)
CLUP	Certificate of Lawfulness (Proposed)
COND	Variation of Condition
EXTP	Replace an Extant Planning Permission
FUL	Full Planning Permission
FULM	Full Planning Permission (Major)
LBC	Listed Building Consent
LCD	Councils Own Development
LCDM	(Major) Councils Own Development
NON	Non-Material Amendments
OBS	Observations to Other Borough
OUT	Outline Planning Permission
OUTM	Outline Planning Permission (Major)
REN	Renewal of Time Limited Permission
RES	Approval of Details
TEL	Telecom Development under GDO
TPO	Tree Preservation Order application works

Recommendation Type codes:

GTD	Grant permission
REF	Refuse permission
NOT DEV	Permission not required - Not Development
PERM DEV	Permission not required - Permitted
PERM REQ	Development
RNO	Permission required
ROB	Raise No Objection

WARD: **Alexandra****CLUP Applications Decided: 1**

Application No: **HGY/2021/0192** Officer: Janey Zhao
 Decision: PERM DEV Decision Date: 09/02/2021
 Location: 7 Cecil Road N10 2BU
 Proposal: Certificate of lawfulness: proposed erection of rear ground floor bay window.

COND Applications Decided: 1

Application No: **HGY/2020/3035** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 25/01/2021
 Location: 96 Alexandra Park Road N10 2AE
 Proposal: Variation of condition 2 (approved plans) of planning permission ref. HGY/2018/3780 (as subsequently amended by permission reference HGY/2019/1492) to extend the footprint of the upper ground floor of the rear residential unit into the floorspace of the ground floor of the main building (restaurant) to its rear, with associated internal and external alterations.

FUL Applications Decided: 8

Application No: **HGY/2020/3079** Officer: Samuel Uff
 Decision: GTD Decision Date: 26/01/2021
 Location: 56 Princes Avenue N22 7SA
 Proposal: Rear roof extensions to main roof and outrigger; installation of external stairs and associated platform and alteration of first floor rear window to door; and installation of 3 x front rooflights.

Application No: **HGY/2020/3195** Officer: Tania Skelli
 Decision: GTD Decision Date: 04/02/2021
 Location: 9 Alexandra Park Road N10 2DD
 Proposal: The addition of thermal insulation to the side and part of the rear elevation, alterations to existing timber windows at rear and side elevations to high performance composite windows, erection of 1.7sqm extension to the rear and installation of roof mounted solar panels.

Application No: **HGY/2020/3202** Officer: Roland Sheldon
 Decision: REF Decision Date: 29/01/2021
 Location: 39 Alexandra Park Road N10 2DD
 Proposal: Erection of a first floor rear extension with roof terrace above the existing single storey rear extension, removal of the existing rear dormer and erection of a new replacement rear dormer with terrace, the raising of the roof ridge height and the erection of a side roof extension.

Application No: **HGY/2020/3232** Officer: Samuel Uff
 Decision: GTD Decision Date: 26/01/2021
 Location: 189 Albert Road N22 7AQ
 Proposal: Erection of rear dormer, 2 x rooflights to front roof slope and 2 x rooflights to rear/side roof slope and enlargement of 2 x windows at rear.

Application No: **HGY/2020/3273** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 01/02/2021
 Location: 101-103 Crescent Road N22 7RU
 Proposal: Replacement of uPVC casement windows and single glazed sash windows with double glazed uPVC windows.

Application No: **HGY/2021/0016** Officer: Tania Skelli
 Decision: GTD Decision Date: 11/02/2021
 Location: 26 Methuen Park N10 2JS
 Proposal: Erection of ground floor rear extension and alterations to rear elevation.

Application No: **HGY/2021/0034** Officer: Tania Skelli
 Decision: GTD Decision Date: 02/02/2021
 Location: 35 Crescent Rise N22 7AW
 Proposal: Erection of ground floor rear extension and associated works.

Application No: **HGY/2021/0170** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 15/02/2021
 Location: 44 Winton Avenue N11 2AT
 Proposal: Roof extension involving a hip-to-gable and rear dormer to facilitate a loft conversion.

PNE Applications Decided: 2

Application No: **HGY/2021/0014** Officer: Laina Levassor
 Decision: PN NOT REQ Decision Date: 04/02/2021
 Location: 326 Alexandra Park Road N22 7BD
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 5.77m, for which the maximum height would be 3.1m and for which the height of the eaves would be 2.975m

Application No: **HGY/2021/0035** Officer: Laina Levassor
 Decision: PN NOT REQ Decision Date: 05/02/2021
 Location: 180 Victoria Road N22 7XQ
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 5.4m, for which the maximum height would be 3.1m and for which the height of the eaves would be 2.3m.

RES Applications Decided: 2

Application No: **HGY/2020/3182** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 28/01/2021
 Location: 107 Rosebery Road N10 2LD
 Proposal: Approval of details attached to conditon 5 of planning permission HGY/2020/1518.

Application No: **HGY/2021/0315** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 15/02/2021
 Location: 100 Alexandra Park Road N10 2AE
 Proposal: Approval of details pursuant to condition 3 (Materials) attached to planning permission HGY/2020/0375.

Total Applications Decided for Ward: 14WARD: **Bounds Green****CLUP Applications Decided: 2**

Application No: **HGY/2020/3201** Officer: Samuel Uff
 Decision: PERM REQ Decision Date: 10/02/2021
 Location: 399 High Road N22 8JB
 Proposal: Lawful development certificate for proposed roof extension to rear outrigger.

Application No: **HGY/2021/0259** Officer: Janey Zhao
 Decision: PERM DEV Decision Date: 15/02/2021
 Location: 99 Truro Road N22 8DH
 Proposal: Certificate of lawfulness: proposed erection of outbuilding.

FUL Applications Decided: 4

Application No: **HGY/2020/3031** Officer: Samuel Uff
 Decision: GTD Decision Date: 26/01/2021
 Location: 32 Northcott Avenue N22 7DB
 Proposal: Erection of ground floor rear extension.

Application No: **HGY/2020/3180** Officer: Conor Guilfoyle
 Decision: REF Decision Date: 28/01/2021
 Location: 147-155 Station Road N22 7ST
 Proposal: Change of use from car park to car wash premises with erection of associated car wash structures.

Application No: **HGY/2021/0053** Officer: Samuel Uff
 Decision: REF Decision Date: 15/02/2021
 Location: 36 Churston Gardens N11 2NL
 Proposal: Erection of single storey rear extension.

Application No: **HGY/2021/0186** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 12/02/2021
 Location: 14 Truro Road N22 8EL
 Proposal: Erection of a single storey rear and partial wraparound extension including the creation of a small courtyard.

RES Applications Decided: 1

Application No: **HGY/2020/3261** Officer: Samuel Uff
 Decision: GTD Decision Date: 03/02/2021
 Location: 34 Clarence Road N22 8PL
 Proposal: Approval of details reserved by conditions 5 (construction management plan) and 6 (qualified professional)

Total Applications Decided for Ward: 7WARD: **Bruce Grove****CLUP Applications Decided: 1**

Application No: **HGY/2021/0078** Officer: Kwaku Bossman-Gyamera
 Decision: PERM DEV Decision Date: 09/02/2021
 Location: 27 Woodside Gardens N17 6UY
 Proposal: Certificate of lawfulness for proposed loft conversion with rear dormer windows including front rooflights.

FUL Applications Decided: 3

Application No: **HGY/2020/0806** Officer: Sarah Madondo
 Decision: GTD Decision Date: 16/02/2021
 Location: 1A St Loys Road N17 6UB
 Proposal: Demolition of the existing property, and construction of a replacement 1-bedroom house.

Application No: **HGY/2021/0037** Officer: Sarah Madondo
 Decision: GTD Decision Date: 02/02/2021
 Location: First Floor Flat 57 Dongola Road N17 6EB
 Proposal: Extension of existing roof dormer.

Application No: **HGY/2021/0194** Officer: Emily Whittredge
 Decision: GTD Decision Date: 16/02/2021
 Location: 98 Clonmell Road N17 6JU
 Proposal: Erection of single storey rear extension (retrospective)

TEL Applications Decided: 1

Application No: **HGY/2021/0325** Officer: Kwaku Bossman-Gyamera
 Decision: PERM DEV Decision Date: 15/02/2021
 Location: Kenley Gloucester Road N17 6LS
 Proposal: In accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 this letter provides formal notification in writing of 28 days' notice in advance, of our intention to install electronic communications.
 The proposed installation comprises: removal of 9no existing antennas to be replaced with 6no new antennas, internal upgrade of existing equipment room and associated ancillary works thereto.

Total Applications Decided for Ward: 5WARD: **Crouch End****CLUP Applications Decided: 1**

Application No: **HGY/2021/0475** Officer: Samuel Uff
 Decision: PERM DEV Decision Date: 16/02/2021
 Location: 59 Ferme Park Road N8 9RY
 Proposal: Certificate of lawfulness for proposed roof extensions.

COND Applications Decided: 1

Application No: **HGY/2020/3213** Officer: Roland Sheldon
 Decision: GTD Decision Date: 01/02/2021
 Location: 23 Birchington Road N8 8HP

Proposal: Variation of condition 2 (approved plans) of planning permission HGY/2020/1750 for erection of single storey rear extension with associated rear decking, replacement and raising height of existing single storey ground floor rear side infill extension, re-tiling of existing front dormer with replacement timber windows, erection of dormer above rear outrigger projection, erection of low-brick boundary wall.

Proposed changes:

- Removal of glazed roof of single storey rear extension
- Boundary wall of side infill extension raised by an additional 22.5cm

FUL Applications Decided: 14

Application No: HGY/2020/1709 **Officer:** Roland Sheldon

Decision: GTD **Decision Date:** 25/01/2021

Location: 1F Mabel House Crouch Hall Road N8 8HT

Proposal: Extension of decking area to the rear of dwellinghouse house. Erection of fencing along the perimeter of raised decking (retention with alterations).

Application No: HGY/2020/2952 **Officer:** Laurence Ackrill

Decision: GTD **Decision Date:** 02/02/2021

Location: Rear of 2 Birchington Road N8 8HR

Proposal: Construction of a two storey dwelling with one storey at lower ground floor level

Application No: HGY/2020/3128 **Officer:** Fatema Begum

Decision: GTD **Decision Date:** 25/01/2021

Location: 19 Shanklin Road N8 8TJ

Proposal: Erection of a rear dormer with x 3 rooflights on front slope.

Application No: HGY/2020/3150 **Officer:** Roland Sheldon

Decision: GTD **Decision Date:** 26/01/2021

Location: 7 Claremont Road N6 5DA

Proposal: Erection of single storey rear extension, erection of side and rear dormer, insertion of 2 front rooflights (AMENDED PLANS).

Application No: HGY/2020/3158 **Officer:** Matthew Gunning

Decision: GTD **Decision Date:** 26/01/2021

Location: Flat A 56 Crouch Hall Road N8 8HG

Proposal: Replacement of existing single glazed timber windows with new double glazed timber windows.

Application No: HGY/2020/3179 **Officer:** Conor Guilfoyle

Decision: GTD **Decision Date:** 26/01/2021

Location: 69 Weston Park N8 9TA

Proposal: Erection of a single storey rear extension with associated enlargement of the roof terrace with associated screening and relocation of rear garden access steps.

Application No: HGY/2020/3191 **Officer:** Laurence Ackrill

Decision: GTD **Decision Date:** 02/02/2021

Location: 35A Weston Park N8 9SY

Proposal: Conversion of an existing window opening to a new door opening, providing access to an existing terrace area.

Application No:	HGY/2020/3220	Officer:	Roland Sheldon
Decision:	GTD	Decision Date:	02/02/2021
Location:	78 Park Road N8 8JQ		
Proposal:	Installation of retractable canopy above shopfront, alterations to materials/fenestration of existing shopfront, placement of external seating outside of premises.		
Application No:	HGY/2021/0007	Officer:	Roland Sheldon
Decision:	GTD	Decision Date:	11/02/2021
Location:	9 Middle Lane N8 8PJ		
Proposal:	External alterations to an existing single storey ground floor rear extension, erection of single storey ground floor side infill rear extension.		
Application No:	HGY/2021/0008	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	09/02/2021
Location:	Ground Floor 71-75 Crouch Hall Road N8 8HA		
Proposal:	Use of the property as Class E office professional services (from sui generis Police Facility)		
Application No:	HGY/2021/0013	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	03/02/2021
Location:	38 Tregaron Avenue N8 9EY		
Proposal:	Extension and alterations to include the enlargement of the existing basement and creation of a front lightwell. Erection of rear extension at upper ground floor level.		
Application No:	HGY/2021/0061	Officer:	Matthew Gunning
Decision:	REF	Decision Date:	18/02/2021
Location:	Jameson Lodge 58 Shepherds Hill N6 5RW		
Proposal:	Partial demolition of existing garages and erection of 2 x 2-bedroom and 1 x 3-bedroom Class C3 dwellings, and associated landscaping works.		
Application No:	HGY/2021/0126	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	12/02/2021
Location:	32 Tregaron Avenue N8 9EY		
Proposal:	Enlargement of existing basement with front light well and upper ground floor rear extension.		
Application No:	HGY/2021/0142	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	17/02/2021
Location:	7 Fairfield Road N8 9HG		
Proposal:	Alterations to existing rear projection/extension with pitched roof to increase height and form flat roof with roof light; Alterations to rear windows and doors; Erection of two rear dormer roof extensions and insertion of roof light on rear roof slope; Replacement of existing concrete roof tiles with natural slate; Removal of external pebbledash and rendered finish and restoration of original brickwork below; Associated minor alterations to front and rear gardens.		
NON Applications Decided: 4			
Application No:	HGY/2021/0183	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	17/02/2021
Location:	Hornsey Town Hall The Broadway N8 9JJ		
Proposal:	Non-material amendment following a grant of planning permission HGY/207/2220 for the omission of the approved basement from residential Block B.		

Application No:	HGY/2021/0419	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	09/02/2021
Location:	Flat C 3 Coolhurst Road N8 8EP		
Proposal:	Non-material amendment following a grant of planning permission HGY/2019/0082 involving amendments to the material used in 2 x of the rear Juliet balconies.		
Application No:	HGY/2021/0425	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	11/02/2021
Location:	Land rear of 29 Haringey Park N8 9JD		
Proposal:	Non-material amendment following a grant of planning permission HGY/2020/1826 involving amendments to the basement level.		
Application No:	HGY/2021/0507	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	18/02/2021
Location:	Flat 1 60 Coolhurst Road N8 8EU		
Proposal:	Non-material amendment following a grant of planning permission HGY/2019/2110 involving alterations to the approved extension fenestration.		

PNC Applications Decided: 1

Application No:	HGY/2021/0015	Officer:	Laurence Ackrill
Decision:	PN NOT REQ	Decision Date:	02/02/2021
Location:	33 Mount View Road N4 4SS		
Proposal:	Prior Approval for change of Use of First Floor from Office (Use Class B1) to a self-contained 2-bedroom residential dwelling (Use Class C3)		

TPO Applications Decided: 2

Application No:	HGY/2020/3075	Officer:	Janey Zhao
Decision:	GTD	Decision Date:	03/02/2021
Location:	Bronze House 16A Shepherds Hill N6 5AQ		
Proposal:	Works to trees protected by TPOs.		

A-Large Oak Tree overhangs the properties 16 shepherds hill and 16a shepherds hill with quite a dense canopy, we should look to thin the canopy by 40% and reduce the crown by 2 meters. The section towards 16 shepherds hill requires about 3.5 meters. B- Large Lime Tree and neighbours overhang on small acers, just lift and cut back the up to about 4 meters only removing epicormic growth on the lime, C- Large London Plane, minor dead wood in crown to be removed and over extending branches that reach through and towards the Oak to be reduced back by about 4 meters, D- Large Lime in rear garden require removing of epicormic growth on main trunk and the first limb over the garden, this would be roughly a 6 meter lift of small branches, E- Mature Oak Tree with some considerable decay, would recommend removing epicormic growth off trunk, removing the dead trunk , and brining in the main weight by about 2 meters, creating new crown about 2 meters above the fork. (Works to other trees will be considered under a Section 211 Notice).

Application No:	HGY/2021/0199	Officer:	Janey Zhao
Decision:	GTD	Decision Date:	18/02/2021
Location:	25 Stanhope Road N6 5AW		
Proposal:	Works to trees protected by a TPO: Front garden Lime T1 (15M high, 350mm dia.) - Raise crown to 5metres all around. Remove epicormic growth throughout crown. Rear Garden Horse Chestnut T3 (15M high, 500mm dia.) - Reduce the crown of the tree back to the most recent points of reduction (4 metres). (The other tree works will be considered under a Section 211 Notice)		

Total Applications Decided for Ward: 23**WARD: Fortis Green**

CLUP Applications Decided: 1

Application No: **HGY/2021/0021** Officer: Christopher Smith

Decision: PERM DEV Decision Date: 11/02/2021

Location: 62 Twyford Avenue N2 9NL

Proposal: Certificate of lawfulness (proposed use) for replacement of all windows to new double glazed units, roof modification and rear dormer addition (less than 50m³ added, no development higher than the existing ridge line), addition of roof lights to main roof (projecting less than 15cm) and addition of solar panels to rear dormer roof (not higher than the existing ridge line)

FUL Applications Decided: 7

Application No: **HGY/2020/2356** Officer: Conor Guilfoyle

Decision: GTD Decision Date: 01/02/2021

Location: Rutland House 40 Colney Hatch Lane N10 1DU

Proposal: Demolition of existing 3 storey building (doctors' surgery and flats) and erection of replacement 4 storey building plus basement level below comprising a Class E (formerly Class D1) use (doctors' surgery) on the basement and ground floor and a class C3 use (residential) on the upper floors (9 flats); Associated works including amenity spaces, landscaping, and provision of bin stores, car parking and cycle parking.

Application No: **HGY/2020/3188** Officer: Tania Skelli

Decision: GTD Decision Date: 26/01/2021

Location: 36 Twyford Avenue N2 9NL

Proposal: Erection of single storey rear extension, first floor side extension under cat slide roof with front facing dormer, hip-to-gable loft conversion with rooflights to front elevation and 2 No. rear dormers.

Application No: **HGY/2020/3206** Officer: Tania Skelli

Decision: GTD Decision Date: 29/01/2021

Location: Flat 1 39 Creighton Avenue N10 1NX

Proposal: Erection of rear ground floor single storey extension with rooflights and internal new windows and door to side elevation.

Application No: **HGY/2021/0017** Officer: Laurence Ackrill

Decision: GTD Decision Date: 03/02/2021

Location: 55 Creighton Avenue N10 1NR

Proposal: Construction of a rear and side extension including raising the garage wall.

Application No: **HGY/2021/0073** Officer: Mercy Oruwari

Decision: GTD Decision Date: 17/02/2021

Location: 5 Woodberry Crescent N10 1PJ

Proposal: Re-conversion of 2x self-contained flats into a 5 bedroom single family dwelling including internal alterations, the enlargement of a single storey rear extension, rear and 2x side dormers and the installation of 2x conservation skylights.

Application No: **HGY/2021/0165** Officer: Laurence Ackrill

Decision: GTD Decision Date: 12/02/2021

Location: 69 Creighton Avenue N10 1NR

Proposal: Erection of an outbuilding in the rear garden.

Application No: **HGY/2021/0188** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 15/02/2021
 Location: First Floor Flat 78 Greenham Road N10 1LP
 Proposal: Construction of rear dormer to facilitate loft conversion and associated roof terrace.

NON Applications Decided: 1

Application No: **HGY/2021/0428** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 11/02/2021
 Location: 19 Greenfield Drive N2 9AF
 Proposal: Non-material amendment following a grant of planning permission HGY/2020/0015 involving insertion of 3no new skylights to the approved dormers, position of dormers and amendments to size and number of approved windows.

PNC Applications Decided: 1

Application No: **HGY/2020/3203** Officer: Tania Skelli
 Decision: PN GRANT Decision Date: 28/01/2021
 Location: Mansfield Heights Great North Road N2 0NY
 Proposal: Application to determine if prior approval is required for a proposed: Erection of roof extension over detached north and south blocks of flats to provide 9 new residential homes in accordance with the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 20, Class A.

PNE Applications Decided: 1

Application No: **HGY/2020/3248** Officer: Laina Levassor
 Decision: PN GRANT Decision Date: 26/01/2021
 Location: 62 Twyford Avenue N2 9NL
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 7.5m, for which the maximum height would be 4m and for which the height of the eaves would be 3m

TPO Applications Decided: 4

Application No: **HGY/2021/0195** Officer: Janey Zhao
 Decision: GTD Decision Date: 15/02/2021
 Location: 45 Twyford Avenue N2 9NU
 Proposal: Works to tree protected by a TPO: Mature Oak in the rear garden: reduce tree by up to 2 metres back to previous reduction framework. All cuts will be made to suitable growth points in line with BS3998. This work should be classified as routine management as the tree has been reduced to this specification previously.

Application No: **HGY/2021/0203** Officer: Janey Zhao
 Decision: GTD Decision Date: 18/02/2021
 Location: 16 Beech Drive N2 9NY
 Proposal: Works to tree protected by a TPO: Rear Garden: T1 - Large Oak - - Remove all trunk growth to main crown break. - Crown thin canopy by 20% removing major deadwood & broken stubs

Application No: **HGY/2021/0206** Officer: Janey Zhao
 Decision: GTD Decision Date: 17/02/2021
 Location: 9 Western Road N2 9JB
 Proposal: Works to tree protected by a TPO: Birch (T1) - Fell because of poor condition and extensive decay in buttress. This tree is leaning toward the path/road. On the opposite side of the lean the buttress is sounding hollow with my sounding hammer and I can Insert my 600mm probe fully (see pictures). Birch polypore fungus present throughout crown. Replant with Prunus atanagawa.

Application No: **HGY/2021/0207** Officer: Janey Zhao

Decision: GTD Decision Date: 17/02/2021

Location: 3 Beech Drive N2 9NX

Proposal: Works to Oak tree protected by a TPO: T1 Oak: Reduce 2 lower laterals by up to 3 metres to balance the tree

Reason: Split limb, cut back to prevent further splitting and damage. Remove if dangerous.

Total Applications Decided for Ward: 15

WARD: **Harringay**

CLUP Applications Decided: 2

Application No: **HGY/2020/3238** Officer: Laina Levassor

Decision: PERM DEV Decision Date: 28/01/2021

Location: 97 Lothair Road North N4 1ER

Proposal: Certificate of Lawfulness for proposed rear dormer and outrigger extension to facilitate loft conversion.

Application No: **HGY/2021/0364** Officer: Laurence Ackrill

Decision: PERM DEV Decision Date: 04/02/2021

Location: 32 Allison Road N8 0AT

Proposal: Certificate of lawfulness for a proposed rear dormer and front elevation rooflights

FUL Applications Decided: 4

Application No: **HGY/2018/1536** Officer: Roland Sheldon

Decision: GTD Decision Date: 17/02/2021

Location: 105 Raleigh Road N8 0JD

Proposal: Demolition of existing two-storey building and single storey building at the rear. Formation of a three-storey building (with basement level) comprising 5 self-contained flats, with front and rear lightwells and associated front bin store.

Application No: **HGY/2020/3155** Officer: Kwaku Bossman-Gyamera

Decision: GTD Decision Date: 28/01/2021

Location: 97 Lothair Road North N4 1ER

Proposal: Single storey side infill extension.

Application No: **HGY/2020/3221** Officer: Sarah Madondo

Decision: GTD Decision Date: 11/02/2021

Location: 98 Hewitt Road N8 0BN

Proposal: Conversion of existing property into two flats with associated works comprising the erection of a single storey side return extension.

Application No: **HGY/2021/0097** Officer: Roland Sheldon

Decision: GTD Decision Date: 12/02/2021

Location: First Floor Flat 76 Falkland Road N8 0NP

Proposal: Erection of rear dormer, installation of 2 front rooflights.

PNC Applications Decided: 1

Application No: **HGY/2021/0060** Officer: Matthew Gunning
 Decision: PN GRANT Decision Date: 16/02/2021
 Location: First And Second Floor Offices 23 Turnpike Lane N8 0EP
 Proposal: Change of Use from Offices (Class B1(a)) to Dwellinghouses (Class C3). - Conversion of the existing offices into 3 self contained units

Total Applications Decided for Ward: 7

WARD: Highgate

CLDE Applications Decided: 1

Application No: **HGY/2021/0106** Officer: Laina Levassor
 Decision: GTD Decision Date: 16/02/2021
 Location: Third Floor Flat 258 Archway Road N6 5AX
 Proposal: Certificate of Lawfulness for the existing use of Third Floor Flat, 258 Archway Road as a self-contained unit containing 3 bedrooms.

COND Applications Decided: 1

Application No: **HGY/2020/3026** Officer: Roland Sheldon
 Decision: GTD Decision Date: 25/01/2021
 Location: 16 Cholmeley Crescent N6 5HA
 Proposal: Removal / variation of a conditions 2 (approved drawings) of planning permission HGY/2020/1392. Amendments to include line of side extension wall and position of first floor side window (revised description).

FUL Applications Decided: 8

Application No: **HGY/2020/3147** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 26/01/2021
 Location: Highgate School Senior Field Bishopswood Road N6 4PP
 Proposal: Engineering works improvements to surface water drainage to the Senior Fields playing pitches, including below ground attenuation tanks, for flood protection.

Application No: **HGY/2020/3268** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 16/02/2021
 Location: 18 Denewood Road N6 4AJ
 Proposal: Construction of a part single, part two-storey rear extension and replacement the front garage door with a window matching the existing windows and 2 x new windows and door and replacement window in side elevation.

Application No: **HGY/2020/3269** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 16/02/2021
 Location: 5 North Hill N6 4AB
 Proposal: Construction of a single storey rear extension, re-roofing of existing rear projection, internal alterations and re-decorating features and the addition of new windows to the rear elevation.

Application No: **HGY/2021/0009** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 12/02/2021
 Location: 23 Stormont Road N6 4NS
 Proposal: Variation of condition 2 (approved plans) attached to planning permission HGY/2019/0842 to amend rear garden outbuildings including location.

Application No: **HGY/2021/0011** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 08/02/2021
 Location: Flat 2 59 Talbot Road N6 4QX
 Proposal: Erection of single-storey rear extension at lower ground to replace existing conservatory.

Application No: **HGY/2021/0012** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 08/02/2021
 Location: Flat 2 59 Talbot Road N6 4QX
 Proposal: Erection of outbuilding in rear garden

Application No: **HGY/2021/0019** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 08/02/2021
 Location: 31 Sheldon Avenue N6 4JP
 Proposal: Erection of new front boundary (brick wall, brick piers, metal railings and gates) and bin store; associated landscaping to front of house, moving of crossover (amendment to scheme approved under extant planning permission reference HGY/2020/0824)

Application No: **HGY/2021/0154** Officer: Roland Sheldon
 Decision: GTD Decision Date: 19/02/2021
 Location: 42 Cromwell Avenue N6 5HL
 Proposal: Erection of single storey ground floor infill side to rear extension, replacement and increased depth of first floor rear balcony with associated safety balustrades, alterations to the first floor rear fenestration, installation of 1 front and 4 rear rooflights.

LBC Applications Decided: 2

Application No: **HGY/2020/2443** Officer: Tania Skelli
 Decision: GTD Decision Date: 08/02/2021
 Location: Cromwell House 104 Highgate Hill N6 5HE
 Proposal: Listed Building Consent for repairs and maintenance to period components, features, damaged walls, ceilings, floors, roof and windows. [There is no alteration, extension or demolition planned]

Application No: **HGY/2020/3270** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 16/02/2021
 Location: 5 North Hill N6 4AB
 Proposal: Listed building consent for the construction of a single storey rear extension, re-roofing of existing rear projection, internal alterations and re-decorating features and the addition of new windows to the rear elevation.

NFU Applications Decided: 1

Application No: **HGY/2021/0178** Officer: Matthew Gunning
 Decision: ROB Decision Date: 15/02/2021
 Location: Covered Reservoir Tile Kiln Lane N6

Proposal: Notification from Thames Water of its proposal to improve access to the above covered, service reservoir site under their Permitted Development Rights. We are informally notifying you of the proposals in line with the guidance at paragraph 069 of the National Planning Practice Guidance (Reference ID:13-068-20140306) which encourages informal notification.

The proposed works involve removing a section of the existing boundary wall along Tile Kiln Lane to provide vehicular access and a parking space on site. There is currently no vehicular access to the site which means that Thames Water works vehicles have no option but to park on the narrow road outside the site (Tile Kiln Lane), but this blocks the road for residents.

A 4m length of the boundary wall will be removed as illustrated on the proposed site layout plan and photomontage. A Galvanised gate will be installed similar to that on the enclosed photograph. The gate can be painted black if necessary. The new access and turning area within the site will be surface with Tarmac / Asphalt.

NON Applications Decided: 2

Application No: HGY/2020/2680 **Officer:** Conor Guilfoyle

Decision: GTD **Decision Date:** 08/02/2021

Location: 15 Sheldon Avenue N6 4JS

Proposal: Non material amendment to planning permission reference HGY/2018/2555 (and subsequent amendment under HGY/2020/0252) to demolish section of existing low-rise front wall and erect new brick pier and wall with railings at front boundary, and erect fence/railings with planting at side boundary.

Application No: HGY/2021/0426 **Officer:** Laurence Ackrill

Decision: GTD **Decision Date:** 10/02/2021

Location: 9 North Hill N6 4AB

Proposal: Non-material amendment following a grant of planning permission HGY/2020/1310 involving alterations to the positioning of the proposed extension and facades, internal alterations and front elevation and forecourt.

RES Applications Decided: 4

Application No: HGY/2020/3263 **Officer:** Laurence Ackrill

Decision: GTD **Decision Date:** 11/02/2021

Location: 2 Highgate Avenue N6 5RX

Proposal: Approval of details pursuant to condition 3 (Materials), 4 (Green roof), 10 (Construction management plan) & 12 (Rooflights) attached to planning permission HGY/2020/1881.

Application No: HGY/2021/0067 **Officer:** Conor Guilfoyle

Decision: GTD **Decision Date:** 18/02/2021

Location: 57 North Hill N6 4BS

Proposal: Approval of details reserved by conditions 3 (external materials) and 4 (condition survey) attached to listed building consent reference HGY/2020/2339 and condition 3 (external materials) attached to planning permission reference HGY/2020/2338.

Application No: HGY/2021/0136 **Officer:** Tania Skelli

Decision: GTD **Decision Date:** 27/01/2021

Location: 33 Kingsley Place N6 5EA

Proposal: Discharge of condition 3 (scaled drawings) pursuant to listed building consent ref. HGY/2020/2823 granted on 15/12/2020 for the installation of 20 x 311W solar panels on the flat roof of existing garage (which incorporates 52a Southwood Lane, N6 5EB).

Application No: HGY/2021/0138 **Officer:** Tania Skelli

Decision: GTD **Decision Date:** 01/02/2021

Location: 141 North Hill N6 4DP

Proposal: Discharge of conditions 2 (scaled drawings) and 3 (photo) pursuant to listed building consent ref. HGY/2020/2805 granted on 22/12/2020 for the insertion of new stone steps and skirting upstand to existing concrete steps serving the front entrance door to the property.

TEL Applications Decided: 1

Application No: **HGY/2021/0327** Officer: Kwaku Bossman-Gyamera
 Decision: PERM DEV Decision Date: 15/02/2021
 Location: Rooftop Communications Station Southwood Park Southwood Lawn Road N6 5SQ
 Proposal: Formal notification in writing of 28 days' notice in advance, in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003, of intention to install electronic communications. The proposed installation comprises:
 Removal and replacement of 3no antennas, installation of 1no GPS node, internal upgrade of existing equipment cabin and associated ancillary works thereto.

TPO Applications Decided: 6

Application No: **HGY/2020/3073** Officer: Janey Zhao
 Decision: GTD Decision Date: 04/02/2021
 Location: 5 Sheldon Avenue N6 4JS
 Proposal: Works to tree protected by an Area TPO.
 English oak (T1) Crown clean thoroughly. Prune to clear roof by 2m.

Application No: **HGY/2021/0196** Officer: Janey Zhao
 Decision: REF Decision Date: 16/02/2021
 Location: 11 Oldfield Mews N6 5XA
 Proposal: Works to tree protected by a TPO - Ginkgo Biloba (T1):
 Preferred option - fell, leave stump, or
 Alternative option - reduce to monolith (building height).

Application No: **HGY/2021/0198** Officer: Janey Zhao
 Decision: GTD Decision Date: 16/02/2021
 Location: 36 High Sheldon Sheldon Avenue N6 4NJ
 Proposal: Works to tree protected by a TPO: T1: Willow: Reduce crown back to previous most recent reduction points whilst preserving a suitable amount of furnishing growth to ensure crown continuity.

Reason: General maintenance to control encroachment and increase light levels to nearby flat.

Application No: **HGY/2021/0202** Officer: Janey Zhao
 Decision: GTD Decision Date: 18/02/2021
 Location: High Point 1 North Hill N6 4BA
 Proposal: Works to trees protected by TPOs: T41 Deodar Cedar Remove branch with split. T57 Lombardy Poplar Reduce back to previous topping cuts, 7m approx Reasons; On-going maintenance as per tree report (All other works will be considered separately under a Section 211 Notice)

Application No: **HGY/2021/0204** Officer: Janey Zhao
 Decision: REF Decision Date: 18/02/2021
 Location: 8 Somerset Gardens N6 5EQ
 Proposal: Works to tree protected by a TPO: Rear Garden with Side Access: T3 - Mature Black Poplar Tree - Reduce overall crown 1.5-2m below most recent reduction points.

Application No: **HGY/2021/0209** Officer: Janey Zhao
 Decision: GTD Decision Date: 17/02/2021
 Location: Herons Lea Sheldon Avenue N6 4NB
 Proposal: Works to tree protected by a TPO: Large Mature Oak Tree at the front of above property; remove all dead wood; 2 metre reduction on lowest lateral limb over car park; reduce any secondary growth by 2 metres to clear all windows of branch obstruction on the North facing side of the building; all pruning cuts will be made to suitable growth points in line with BS3998

Total Applications Decided for Ward: 26

WARD: Hornsey**FUL Applications Decided: 5**

Application No:	HGY/2020/3034	Officer:	Conor Guilfoyle
Decision:	REF	Decision Date:	25/01/2021
Location:	Flat 2 2 Rathcoole Gardens N8 9NB		
Proposal:	Installation of air conditioning condenser unit affixed by bracket to rear external wall at first floor level and installation of associated external pipework to side and rear elevations.		
Application No:	HGY/2020/3122	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	25/01/2021
Location:	Second Floor Flat C 260 Ferme Park Road N8 9BL		
Proposal:	Erection of rear dormer roof extension.		
Application No:	HGY/2020/3157	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	25/01/2021
Location:	Flat A 60 North View Road N8 7LL		
Proposal:	Erection of small, timber insulated garden room for use as office.		
Application No:	HGY/2020/3178	Officer:	Roland Sheldon
Decision:	GTD	Decision Date:	27/01/2021
Location:	33 Priory Road N8 8LP		
Proposal:	Demolition of the existing row of 2 garages and store at the rear of 33 Priory Road, erection of 1-bed dwellinghouse with basement and ground floor.		
Application No:	HGY/2021/0261	Officer:	Roland Sheldon
Decision:	GTD	Decision Date:	19/02/2021
Location:	Ground Floor Flat A 29 Rathcoole Avenue N8 9LY		
Proposal:	Erection of a new timber rear outbuilding.		

LCD Applications Decided: 1

Application No:	HGY/2020/3265	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	25/01/2021
Location:	21 & 21A Glebe Road N8 7DA		
Proposal:	Replacement of timber framed single-glazed windows for new timber framed double-glazed windows to the front and the installation of new UPVC framed double-glazed windows to the rear.		

PNE Applications Decided: 1

Application No:	HGY/2021/0113	Officer:	Laina Levassor
Decision:	PN NOT REQ	Decision Date:	09/02/2021
Location:	37 Rectory Gardens N8 7PJ		
Proposal:	Erection of a single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3.95m and for which the height of the eaves would be 3m.		

RES Applications Decided: 1

Application No: **HGY/2021/0330** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 02/02/2021
 Location: First And Second Floor Flat, Public House 139-141 Tottenham Lane N8 9BJ
 Proposal: Approval of details pursuant to condition 3 (cycle storage) attached to planning permission HGY/2020/1992.

TPO Applications Decided: 1

Application No: **HGY/2021/0197** Officer: Janey Zhao
 Decision: GTD Decision Date: 16/02/2021
 Location: Medici Court Hillfield Avenue N8 7BQ
 Proposal: Works to trees protected by a TPO: Tree No. 84 - Robinia pseudoacacia - crown reduce 20% Tree No. 95 - Aesculus hippocastanum - dead wood and crown lift 4m Tree No. 96 - Aesculus hippocastanum - crown lift 4m Tree No. 97 - Robinia pseudoacacia - Sever ivy and crown lift 5m (please note that no other trees listed on application form are protected or within a Conservation Area)

Total Applications Decided for Ward: 9WARD: **Muswell Hill****CLDE Applications Decided: 1**

Application No: **HGY/2021/0074** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 18/02/2021
 Location: 294 Park Road N8 8JY
 Proposal: Certificate of lawfulness for the continued use of the property as a four person children's/young person's care home (Retrospective Application).

CLUP Applications Decided: 1

Application No: **HGY/2021/0027** Officer: Valerie Okeiyi
 Decision: PERM DEV Decision Date: 25/01/2021
 Location: 290 Park Road N8 8JY
 Proposal: Certificate of Lawfulness (proposed use) for the formation of a dormer projection including new sash windows and rooflights at the back and on the front pitched roof

COND Applications Decided: 1

Application No: **HGY/2020/0800** Officer: Samuel Uff
 Decision: GTD Decision Date: 15/02/2021
 Location: Holly Bank Cottage Holly Bank Muswell Hill N10 3TH
 Proposal: Variation of conditions 4 and 5 attached to planning permission HGY/2017/3118 to include reference to the updated tree survey and AIA dated 13th January 2020.

FUL Applications Decided: 4

Application No: **HGY/2020/3156** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 10/02/2021
 Location: 171, 173 and Rear Yard of 175 Priory Road N8 8NB
 Proposal: External alterations to shopfront, rear ground floor extension and external plant area.

Application No: **HGY/2020/3222** Officer: Roland Sheldon
 Decision: GTD Decision Date: 09/02/2021
 Location: 23 Woodland Gardens N10 3UE
 Proposal: Erection of single storey lower ground floor rear extension, alterations to fenestration of existing 2-storey rear projection.

Application No: **HGY/2020/3239** Officer: Mercy Oruwari
 Decision: REF Decision Date: 01/02/2021
 Location: 112 St James's Lane N10 3RG
 Proposal: The proposal is to replace all single glazed, timber casement windows with double glazed, PVCu windows to match the other existing PVCu windows.

Application No: **HGY/2021/0065** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 08/02/2021
 Location: 71 Onslow Gardens N10 3JY
 Proposal: Alterations to and enlargement of rear external access steps to side and rear of rear of property; Erection of handrail in connection with the side access steps.

LCD Applications Decided: 1

Application No: **HGY/2020/3264** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 25/01/2021
 Location: 8 New Road N8 8TA
 Proposal: Replacement of timber framed single-glazed windows for new timber framed double-glazed windows to the front and the installation of new UPVC framed double-glazed windows to the rear.

NON Applications Decided: 1

Application No: **HGY/2021/0219** Officer: Fatema Begum
 Decision: GTD Decision Date: 11/02/2021
 Location: 76 Muswell Hill Place N10 3RR
 Proposal: Non-material amendment following a grant of planning permission HGY/2020/2921 seeking the following amendments to the consented scheme:
 1. Reduction of height of the two windows on side elevation granted under HGY/202/2921 on the proposed extension.
 2. Add an additional fixed pane double glazed (non-opening) picture window to side elevation on the lower level of proposed extension approved under HGY/2020/2921

RES Applications Decided: 2

Application No: **HGY/2021/0018** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 27/01/2021
 Location: 83 Priory Road N8 8LY
 Proposal: Approval of details pursuant to condition 3 (Materials), 4 (Hard and soft landscaping), 6 (Site boundaries), 8 (Construction management plan) & 10 (Cycle storage) attached to planning permission HGY/2020/1068

Application No: **HGY/2021/0270** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 26/01/2021
 Location: 142 Muswell Hill Road N10 3JE
 Proposal: Approval of details pursuant to condition 5 (professional oversight of basement works) attached to planning permission HGY/2020/2672.

TEL Applications Decided: 1

Application No: **HGY/2021/0323** Officer: Kwaku Bossman-Gyamera
 Decision: PERM DEV Decision Date: 12/02/2021
 Location: Buckingham Lodge 2 Muswell Hill N10 3TG
 Proposal: Notification under the Electronic Communications Code Regulations 2003 to utilise permitted development rights for the removal and replacement of 3No. existing antennas with 3No. upgraded antennas and 1No. GPS node located on the rooftop, and ancillary development thereto.

TPO Applications Decided: 2

Application No: **HGY/2021/0205** Officer: Janey Zhao
 Decision: GTD Decision Date: 19/02/2021
 Location: 83 Priory Road N8 8LY
 Proposal: Works to tree protected by a TPO: Sycamore (T1) - Fell
 Reason: Stop the influence of the tree(s) on the soil below building foundation level and provide long term stability

Please see reports and application form for further information. Further monitoring results may be submitted if these become available during the course of this application.

Application No: **HGY/2021/0208** Officer: Janey Zhao
 Decision: GTD Decision Date: 17/02/2021
 Location: St Georges Lodge 4 Muswell Hill N10 3TE
 Proposal: Works to trees protected by a TPO: T2 London Plane Reduce back to previous pruning points 2m approx leaving no furnishings; T7 Ash Remove deadwood and cut back to clear adjacent tree.
 Reason: On-going maintenance (all other proposed tree works do not require permission)

Total Applications Decided for Ward: 14WARD: **Noel Park****FUL Applications Decided: 9**

Application No: **HGY/2020/0791** Officer: Gareth Prosser
 Decision: REF Decision Date: 16/02/2021
 Location: 64 Turnpike Lane N8 0PR
 Proposal: Ground floor front extension and conversion to restaurant. Amendments to existing rear extension roof layout.

Application No: **HGY/2020/2233** Officer: Samuel Uff
 Decision: GTD Decision Date: 16/02/2021
 Location: 45 - 47 High Road N22 6BH
 Proposal: Subdivision of double shopfront to 2 x shopfronts with associated alterations; conversion of ground floor rear and upper floors to 6 x residential units; erection of two storey rear extension (following partial demolition of rear); 2 x rear dormer roof extensions; creation of first floor rear terrace; installation of rear / side windows; installation of 4 x front rooflights; and creation of storage areas to the rear.

Application No: **HGY/2020/3207** Officer: Emily Whittredge
 Decision: REF Decision Date: 25/01/2021
 Location: 195 Hewitt Avenue N22 6QG
 Proposal: Loft conversion with three front roof lights and three rear roof lights.

Application No:	HGY/2020/3230	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	01/02/2021
Location:	Quicksilver Place Western Road N22 6XH		
Proposal:	Replacement of the existing fence with a new fence around the site perimeter, with anti-climb topping, new perimeter gate, and replacement of 6 external doors on the ground floor and 1 external door on the first floor of the building and associated works.		
Application No:	HGY/2020/3240	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	02/02/2021
Location:	60 Hewitt Avenue N22 6QD		
Proposal:	Replacement of french doors and window at the rear with bifolding doors.		
Application No:	HGY/2021/0052	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	12/02/2021
Location:	131 Russell Avenue N22 6QA		
Proposal:	Demolition and replacement of the existing single storey rear extension.		
Application No:	HGY/2021/0069	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	09/02/2021
Location:	188 Morley Avenue N22 6NT		
Proposal:	Single storey ground floor rear extension.		
Application No:	HGY/2021/0109	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	17/02/2021
Location:	65 Hornsey Park Road N8 0JU		
Proposal:	Erection of single storey rear/side extension.		
Application No:	HGY/2021/0125	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	11/02/2021
Location:	21 Waldegrave Road N8 0QA		
Proposal:	Construction of a single storey rear extension.		

NON Applications Decided: 1

Application No:	HGY/2021/0193	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	26/01/2021
Location:	Omnibus House Redvers Road N22 6EW		
Proposal:	It is proposed to remediate the combustible cladding of the facade at Omnibus House on a like-for-like basis and utilising the same aesthetic finishes with non-combustible alternatives. This will involve remediating both non-combustible materials within the facade build-up and the facade finish with the exclusion of the brick clad elements.		

PNE Applications Decided: 1

Application No:	HGY/2020/3244	Officer:	Laina Levassor
Decision:	PN REFUSED	Decision Date:	26/01/2021
Location:	65 Hornsey Park Road N8 0JU		
Proposal:	Erection of a single storey extension which extends beyond the rear wall of the original house by 5.8m, for which the maximum height would be 3.17m and for which the height of the eaves would be 2.85m.		

Total Applications Decided for Ward: 11**WARD: Northumberland Park****CLUP Applications Decided: 2**

Application No: **HGY/2021/0022** Officer: Christopher Smith
 Decision: PERM DEV Decision Date: 15/02/2021
 Location: 10 Worcester Avenue N17 0TU
 Proposal: Certificate of lawfulness (proposed use) for loft conversion with rear dormer, plus four roof windows on the front elevation.

Application No: **HGY/2021/0028** Officer: Valerie Okeiyi
 Decision: PERM DEV Decision Date: 25/01/2021
 Location: 22 Baronet Road N17 0LU
 Proposal: Certificate of lawfulness (proposed use) for side dormer loft conversion to provide additional living accommodation.

COND Applications Decided: 1

Application No: **HGY/2020/3216** Officer: Martin Cowie
 Decision: GTD Decision Date: 08/02/2021
 Location: 790-794 High Road N17 0DH
 Proposal: Non-material amendments to Listed Building Consent HGY/2019/0315, granted 25 March 2019 in relation to works to Nos. 790, 792 and 794 High Road, Tottenham, N17.

NON Applications Decided: 1

Application No: **HGY/2021/0339** Officer: Sarah Madondo
 Decision: GTD Decision Date: 16/02/2021
 Location: Petrol Filling Station 1-13 Willoughby Lane N17 0QU
 Proposal: Additional 1no. EV Charger bay, 1no. EV Power pack and enlarged Canopy. Relocation of 1no. Pump island.

RES Applications Decided: 3

Application No: **HGY/2020/2889** Officer: Roland Sheldon
 Decision: GTD Decision Date: 03/02/2021
 Location: Land adjacent to 1-6 Romney Close N17 0NT
 Proposal: Discharge of condition 8 (Construction method statement) of planning permission HGY/2020/0183.

Application No: **HGY/2020/3148** Officer: Roland Sheldon
 Decision: GTD Decision Date: 26/01/2021
 Location: Land adjacent to 1-6 Romney Close N17 0NT
 Proposal: Discharge of condition 11 (Secured by Design) of planning permission HGY/2020/0183 for demolition of existing garages at Romney Close and erection of 3 new build flats in a 3 storey block. 1 x 2-Bed 3-Person wheelchair accessible unit and 2 x 2Bed 4-Person units. Erection of new bin store, bike store and services. Proposed new turning head for fire and refuse vehicles, with amended parking layout. Extensive new landscaping scheme over whole site.

Application No: **HGY/2021/0114** Officer: Neil McClellan
 Decision: GTD Decision Date: 15/02/2021
 Location: Land rear of 705-707 High Road N17 8AD
 Proposal: Approval of details pursuant to Condition 6 (parts a and b) (Investigation into Site Contamination), Condition 9 (Trees) and Condition 10 (Tree Protection Method Statement) of Planning Permission Ref: HGY/2020/0533.

Total Applications Decided for Ward: 7**WARD: St Anns****FUL Applications Decided: 8**Application No: **HGY/2020/3091** Officer: Emily Whittredge

Decision: GTD Decision Date: 17/02/2021

Location: 50 Clarendon Road N15 3JX

Proposal: Erection of single storey rear extension.

Application No: **HGY/2020/3111** Officer: Samuel Uff

Decision: GTD Decision Date: 02/02/2021

Location: 64 Glenwood Road N15 3JR

Proposal: Erection of ground floor infill and rear extension.

Application No: **HGY/2020/3211** Officer: Emily Whittredge

Decision: GTD Decision Date: 15/02/2021

Location: 54 Stanhope Gardens N4 1HT

Proposal: Rear roof extension with front roof lights and replacement windows and doors.

Application No: **HGY/2021/0070** Officer: Mercy Oruwari

Decision: GTD Decision Date: 09/02/2021

Location: 11 Chesterfield Gardens N4 1LJ

Proposal: Erection of single storey side and rear extension.

Application No: **HGY/2021/0115** Officer: Neil McClellan

Decision: GTD Decision Date: 15/02/2021

Location: 79 Woodlands Park Road N15 3SB

Proposal: Proposed ground floor rear extension to replace existing extension.

Application No: **HGY/2021/0117** Officer: Laurence Ackrill

Decision: GTD Decision Date: 11/02/2021

Location: Flat A 82 Rutland Gardens N4 1JR

Proposal: Construction of a single storey rear garden outbuilding for use as home office/ storage following the demolition of existing garden sheds.

Application No: **HGY/2021/0127** Officer: Laurence Ackrill

Decision: GTD Decision Date: 10/02/2021

Location: 104 Chesterfield Gardens N4 1LR

Proposal: Demolition of existing side return covered space and construction of side return extension.

Application No: **HGY/2021/0147** Officer: Sarah Madondo

Decision: REF Decision Date: 09/02/2021

Location: 3 Clinton Road N15 5BH

Proposal: Conversion of the existing family dwelling into 1 x 3 bed flat and 1 x studio flat together with provision of associated refuse and cycle storage.

PNE Applications Decided: 1

Application No: **HGY/2021/0120** Officer: Laina Levassor
 Decision: PN NOT REQ Decision Date: 11/02/2021
 Location: 34 Glenwood Road N15 3JU
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 5.6m, for which the maximum height would be 3.45m and for which the height of the eaves would be 2.75m

Total Applications Decided for Ward: 9

WARD: Seven Sisters

CLUP Applications Decided: 4

Application No: **HGY/2021/0122** Officer: Laina Levassor
 Decision: PERM DEV Decision Date: 27/01/2021
 Location: 29 Hillside Road N15 6LU
 Proposal: Certificate of Lawfulness for proposed rear dormer and outrigger extensions to facilitate loft conversion.

Application No: **HGY/2021/0214** Officer: Janey Zhao
 Decision: PERM DEV Decision Date: 05/02/2021
 Location: 35 Oakdale Road N4 1NU
 Proposal: Certificate of Lawfulness for proposed formation of rear dormer and insertion of 3 roof lights

Application No: **HGY/2021/0262** Officer: Laina Levassor
 Decision: PERM DEV Decision Date: 05/02/2021
 Location: 12 Oakdale Road N4 1NX
 Proposal: Certificate of Lawfulness for proposed single storey rear extension and outbuilding

Application No: **HGY/2021/0265** Officer: Janey Zhao
 Decision: PERM DEV Decision Date: 01/02/2021
 Location: 169 Gladesmore Road N15 6TJ
 Proposal: Certificate of lawfulness: proposed insertion of three roof lights

FUL Applications Decided: 15

Application No: **HGY/2020/2626** Officer: Sarah Madondo
 Decision: GTD Decision Date: 02/02/2021
 Location: 149-151 Gladesmore Road N15 6TJ
 Proposal: A joint application for a first floor extension

Application No: **HGY/2020/2903** Officer: Emily Whittredge
 Decision: GTD Decision Date: 03/02/2021
 Location: 44 Eastbourne Road N15 6NT
 Proposal: Erection of single storey rear extension.

Application No: **HGY/2020/3110** Officer: Philip Elliott
 Decision: GTD Decision Date: 19/02/2021
 Location: Harringay Warehouse District 339 Seven Sisters Road N15 6RD

Proposal:	Erection of temporary structures and adjustments to the existing boundary treatment for use as a temporary events structure occupying the site under meanwhile use, hosting a programme of community workshops and events.		
Application No:	HGY/2020/3131	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	28/01/2021
Location:	37-39 Clifton Gardens N15 6AP		
Proposal:	Demolition of 37 and 39 Clifton Gardens and the construction of two replacement dwellings comprising a basement, ground, first and second floor with further accommodation in the roof, forming two six-bedroom four-storey family houses.		
Application No:	HGY/2020/3166	Officer:	Mercy Oruwari
Decision:	REF	Decision Date:	28/01/2021
Location:	83 Richmond Road N15 6QA		
Proposal:	Erection of a partial single storey side infill and rear extension, along with the creation of a courtyard and minor internal alterations.		
Application No:	HGY/2020/3197	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	01/02/2021
Location:	34 Craven Park Road N15 6AB		
Proposal:	Single storey rear extension and roof extensions.		
Application No:	HGY/2020/3204	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	29/01/2021
Location:	125 Gladesmore Road N15 6TJ		
Proposal:	Type 3 Loft Extension		
Application No:	HGY/2020/3234	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	01/02/2021
Location:	149-151 Gladesmore Road N15 6TJ		
Proposal:	A joint application for a first floor extension.		
Application No:	HGY/2020/3271	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	04/02/2021
Location:	Garage Site Rear Of 10-16 Ashfield Road N4 1PB		
Proposal:	Demolition of lock up garages. Proposal for 3 x 4 bedroom family houses, single storey in height with a basement.		
Application No:	HGY/2020/3278	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	03/02/2021
Location:	67 Craven Park Road N15 6AH		
Proposal:	Erection of an additional storey in the form of a 'Type 3' roof extension.		
Application No:	HGY/2021/0040	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	03/02/2021
Location:	21 Elm Park Avenue N15 6AL		
Proposal:	Erection of a Type 3 roof extension.		

Application No:	HGY/2021/0088	Officer:	Kwaku Bossman-Gyamera
Decision:	NPW	Decision Date:	19/02/2021
Location:	124 Craven Park Road N15 6AB		
Proposal:	Building a second floor on top of the outrigger		
Application No:	HGY/2021/0107	Officer:	Laina Levassor
Decision:	REF	Decision Date:	09/02/2021
Location:	12 Oakdale Road N4 1NX		
Proposal:	Erection of a two storey rear extension.		
Application No:	HGY/2021/0123	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	05/02/2021
Location:	135 Castlewood Road N15 6BD		
Proposal:	Addition of a rear bay window to single storey rear extension for which prior approval was issued (HGY/2020/3000)		
Application No:	HGY/2021/0157	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	09/02/2021
Location:	7 Clifton Gardens N15 6AP		
Proposal:	Erection of a Type 3 roof extension		

LCD Applications Decided: 1

Application No:	HGY/2020/3168	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	08/02/2021
Location:	99-101, 119 & 121 Richmond Road N15 6QA		
Proposal:	Replacement of timber framed single-glazed windows for new timber framed double-glazed windows to the front and the installation of new UPVC framed double-glazed windows to the rear.		

PNE Applications Decided: 7

Application No:	HGY/2020/3266	Officer:	Laina Levassor
Decision:	PN REFUSED	Decision Date:	26/01/2021
Location:	20 Franklin Street N15 6QH		
Proposal:	Erection of a single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m.		
Application No:	HGY/2020/3284	Officer:	Laina Levassor
Decision:	PN NOT REQ	Decision Date:	26/01/2021
Location:	21 Elm Park Avenue N15 6AL		
Proposal:	Erection of a single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m.		
Application No:	HGY/2021/0038	Officer:	Laina Levassor
Decision:	PN NOT REQ	Decision Date:	09/02/2021
Location:	47 Beechfield Road N4 1PD		
Proposal:	Erection of a single storey extension which extends beyond the rear wall of the original house by 3.2m, for which the maximum height would be 4m and for which the height of the eaves would be 3m		

Application No:	HGY/2021/0044	Officer:	Laina Levassor
Decision:	PN NOT REQ	Decision Date:	05/02/2021
Location:	29 Hillside Road N15 6LU		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original wall by 5.72m, for which the maximum height would be 2.8m and for which the height of the eaves would be 2.7m		
Application No:	HGY/2021/0172	Officer:	Tobias Finlayson
Decision:	PN REFUSED	Decision Date:	03/02/2021
Location:	20 Franklin Street N15 6QH		
Proposal:	Application for prior approval of the proposed enlargement of a dwellinghouse by construction of an additional storey pursuant to Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 1, Class AA		
Application No:	HGY/2021/0180	Officer:	Laina Levassor
Decision:	PN REFUSED	Decision Date:	19/02/2021
Location:	12 Oakdale Road N4 1NX		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3.3m and for which the height of the eaves would be 2.5m		
Application No:	HGY/2021/0181	Officer:	Laina Levassor
Decision:	PN REFUSED	Decision Date:	19/02/2021
Location:	12 Oakdale Road N4 1NX		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.3m and for which the height of the eaves would be 3m		

RES Applications Decided: 1

Application No:	HGY/2020/3154	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	25/01/2021
Location:	37 Clifton Gardens N15 6AP		
Proposal:	Approval of details reserved by a condition 3 (Construction Management Plan) attached to planning permission HGY/2019/2806.		

TPO Applications Decided: 1

Application No:	HGY/2020/3074	Officer:	Janey Zhao
Decision:	GTD	Decision Date:	02/02/2021
Location:	5A Holmdale Terrace N15 6PP		
Proposal:	Works to Lime tree protected by a TPO.		
	T1 Lime- Pollard to previous outermost reduction points, removing up to max of 4m of branch length. Crown lift to give a max of 4m clearance above ground level and cleaning out of crown. Remove all thin and lower branches to reduce the excessive shedding.		

Total Applications Decided for Ward: 29WARD: **Stroud Green****FLEX Applications Decided: 1**

Application No:	HGY/2021/0429	Officer:	Matthew Gunning
Decision:	FLEXGTD	Decision Date:	09/02/2021
Location:	10 Ferme Park Road N4 4ED		

Proposal: Flexible Change of Use under Class D of Part 4 of Schedule 2 (Temporary Buildings and Uses) of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), for the proposed temporary change of use from Takeaway (A5) to restaurant / pizzeria (A3) for a period of up to 2 years starting from 01.08.2020.

FUL Applications Decided: 6

Application No: HGY/2020/3160 **Officer:** Matthew Gunning
Decision: GTD **Decision Date:** 29/01/2021
Location: 18 Denton Road N8 9NS
Proposal: Mansard extension to rear roof, with built-up parapet walls, addition of 2 rooflights to front facing roof.

Application No: HGY/2020/3241 **Officer:** Emily Whittredge
Decision: GTD **Decision Date:** 12/02/2021
Location: 102 Stapleton Hall Road N4 4QA
Proposal: Alterations to rear and side dormer windows, installation of two front roof lights and alterations to roof covering; front & rear windows replaced with traditional wooden sash slim profile double glazed windows.

Application No: HGY/2020/3242 **Officer:** Emily Whittredge
Decision: GTD **Decision Date:** 01/02/2021
Location: 102 Stapleton Hall Road N4 4QA
Proposal: Alterations to front garden wall and front door, removal of rear extension at upper ground level and formation of roof terrace, and new extension at ground floor level.

Application No: HGY/2021/0039 **Officer:** Tania Skelli
Decision: GTD **Decision Date:** 03/02/2021
Location: 12 Denton Road N8 9NS
Proposal: Erection of single storey rear infill extension with 1x roof light, installation of roof light over existing flat roof.

Application No: HGY/2021/0057 **Officer:** Matthew Gunning
Decision: GTD **Decision Date:** 11/02/2021
Location: 66 Mount Pleasant Crescent N4 4HL
Proposal: Flat roof dormer extension level with existing ridge height. All facing materials to match existing. Living room window to be replaced with double glazed timber sash windows to match existing.

Application No: HGY/2021/0144 **Officer:** Samuel Uff
Decision: GTD **Decision Date:** 15/02/2021
Location: 4 Dagmar Road N4 4PB
Proposal: Erection of single storey side and rear extension; rebuilding boundary wall and replacement of side outrigger window.

NON Applications Decided: 1

Application No: HGY/2021/0300 **Officer:** Matthew Gunning
Decision: GTD **Decision Date:** 19/02/2021
Location: 68 Stroud Green Road N4 3ER
Proposal: Non-material amendment followin a grant of planning permission HGY/2020/2811. MInor amendment to the location of the single-storey new extension wall to sit on the boundary between No. 68 and 66 Stroud Green Road.

TPO Applications Decided: 1

Application No: **HGY/2020/3069** Officer: Janey Zhao
 Decision: REF Decision Date: 02/02/2021
 Location: Video Court Mount View Road N4 4SJ
 Proposal: Works to trees protected by a TPO:
 Frontage: Mountview Road
 Holly - 3 (Nos. 7 & 8)
 X 2 trees & x 1 regrown stump: Remove

Total Applications Decided for Ward: 9

WARD: **Tottenham Green**

CLUP Applications Decided: 1

Application No: **HGY/2021/0020** Officer: Christopher Smith
 Decision: PERM DEV Decision Date: 11/02/2021
 Location: 65 Braemar Road N15 5HA
 Proposal: Certificate of lawfulness (proposed use) for a loft conversion formed of rear former and outrigger extension and installation of roof lights.

FUL Applications Decided: 3

Application No: **HGY/2020/2485** Officer: Kwaku Bossman-Gyamera
 Decision: REF Decision Date: 25/01/2021
 Location: 57-59 West Green Road N15 5DA
 Proposal: Retention of a single storey ground rear extension (Retrospective)

Application No: **HGY/2020/3229** Officer: Sarah Madondo
 Decision: GTD Decision Date: 27/01/2021
 Location: Flat 1 26 Jansons Road N15 4JU
 Proposal: Side extension enlargement of existing studio to 1 bed flat, with new side doors.

Application No: **HGY/2021/0036** Officer: Sarah Madondo
 Decision: GTD Decision Date: 02/02/2021
 Location: 675 Seven Sisters Road N15 5LA
 Proposal: Amendments to the approved planning application HGY/2019/1923 for the relocation of the rear duct.

RES Applications Decided: 1

Application No: **HGY/2020/2692** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 25/01/2021
 Location: Mono House 50-56 Lawrence Road N15 4EG
 Proposal: Approval of details pursuant to condition 27 (Delivery and Servicing Management Plan) attached to planning permission HGY/2018/0120.

TEL Applications Decided: 2

Application No: **HGY/2021/0081** Officer: Kwaku Bossman-Gyamera
 Decision: PN GRANT Decision Date: 09/02/2021
 Location: Warren Court 1-40 High Cross Road N17 9PE

Proposal: Proposed development comprises the installation of 3no. 3.2m support poles (26.8m AGL) SUPPORTING 6no. antennas and 2no. 300mm dishes, new equipment within the existing cabin and ancillary works thereto. (Prior notification: Development by telecoms operators)

Application No: **HGY/2021/0328**

Officer: Kwaku Bossman-Gyamera

Decision: PERM DEV

Decision Date: 12/02/2021

Location: Anna House 214-218 Page Green Terrace N15 4NP

Proposal: Formal notification in writing of 28 days notice in advance, in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 (as amended).
Description of Development: the proposed development comprises the replacement of 3No. antennas with 3No. new antennas and ancillary works thereto.

Total Applications Decided for Ward: 7

WARD: **Tottenham Hale**

CLUP Applications Decided: 1

Application No: **HGY/2021/0272**

Officer: Laina Levassor

Decision: PERM DEV

Decision Date: 05/02/2021

Location: 60 Holcombe Road N17 9AR

Proposal: Certificate of Lawfulness for proposed rear dormer extension, single storey rear extension and outbuilding

FUL Applications Decided: 5

Application No: **HGY/2020/3081**

Officer: Emily Whittredge

Decision: GTD

Decision Date: 16/02/2021

Location: 70 Sherringham Avenue N17 9RP

Proposal: Hip to gable loft conversion with rear dormer and front and rear roof lights.

Application No: **HGY/2020/3092**

Officer: Sarah Madondo

Decision: GTD

Decision Date: 27/01/2021

Location: 138 Shelbourne Road N17 9YA

Proposal: Loft Conversion

Application No: **HGY/2020/3165**

Officer: Mercy Oruwari

Decision: GTD

Decision Date: 28/01/2021

Location: 11 Albion Road N17 9DB

Proposal: Erection of single storey rear extension and new patio area.

Application No: **HGY/2020/3243**

Officer: Sarah Madondo

Decision: GTD

Decision Date: 05/02/2021

Location: 408 High Road N17 9JB

Proposal: Part retrospective planning application for the change of use of part the first floor and all of the second to a 4 bedroom HMO for a maximum of six residents.

Application No: **HGY/2021/0189**

Officer: Gareth Prosser

Decision: GTD

Decision Date: 12/02/2021

Location: 30 Sherringham Avenue N17 9RN

Proposal: Alteration to the existing rear extension, formation of a rear dormer loft and new roof lights.

NON Applications Decided: 3

Application No:	HGY/2021/0001	Officer:	Christopher Smith
Decision:	GTD	Decision Date:	25/01/2021
Location:	Hale Wharf Ferry Lane N17 9NF		
Proposal:	Non-material amendment application for changes to the canal edge which include: the extension of the balustrade; the addition of an access gate adjacent to Block B; and addition of one life ring that will be attached to the balustrade near the access gate.		
Application No:	HGY/2021/0090	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	28/01/2021
Location:	112 Sherringham Avenue N17 9RP		
Proposal:	Non-material amendment following a grant of planning permission HGY/2019/1371 for the insertion of door / window on the side elevation and replacement of bi-folding doors with a window to the rear elevation.		
Application No:	HGY/2021/0100	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	17/02/2021
Location:	Land north of Monument Way and South of Fairbanks Road N17		
Proposal:	Non-material amendment following a grant of planning permission HGY/2018/0050 to make amendments to boundary wall and external layout: Proposed concrete and masonry wall removed and replaced with brick wall, keeping same layout/configuration and heights as previously approved. No changes to the location of both inclines or stairs providing access between Monument Way and the new Fairbanks Road with all pedestrian and road access remain the same. Re-configuration of 5 parking bays (no reduction in number).		
PNE Applications Decided: 1			
Application No:	HGY/2021/0137	Officer:	Laina Levassor
Decision:	PN NOT REQ	Decision Date:	11/02/2021
Location:	60 Holcombe Road N17 9AR		
Proposal:	Erection of a single storey extension which extends beyond the rear wall of the original house by 4.5m, for which the maximum height would be 3m and for which the height of the eaves would be 3m.		
RES Applications Decided: 12			
Application No:	HGY/2020/0384	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	16/02/2021
Location:	1 Station Square Station Road N17 9LR		
Proposal:	Approval of details pursuant to condition 14 (details of Ultra Low NOx boilers) attached to planning permission HGY/2016/3932		
Application No:	HGY/2020/1290	Officer:	Philip Elliott
Decision:	GTD	Decision Date:	12/02/2021
Location:	Ashley Gardens Ashley Road N17 9LJ		
Proposal:	Approval of details for Building 1A reserved by Condition 31 (Wind Mitigation Measures) attached to HGY/2019/2804 [Section 73 application for minor material amendments to planning permission HGY/2017/2045 in respect of internal layouts and external alterations, including changes to the massing of Buildings 1 and 1A to provide an additional 46 residential units; amendments to the dwelling mix to increase the number of family sized units, and tenure mix to provide 76% of the affordable housing as affordable rented units, and associated changes to car and cycle parking and infrastructure works]		
Application No:	HGY/2020/1330	Officer:	Philip Elliott
Decision:	GTD	Decision Date:	15/02/2021
Location:	Ashley Gardens Ashley Road N17 9LJ		
Proposal:	Approval of details pursuant to condition 44 (external materials) attached to planning permission HGY/2019/2804		

Application No:	HGY/2020/2175	Officer:	Robbie McNaugher
Decision:	GTD	Decision Date:	18/02/2021
Location:	Premier Inn Station Road N17 9LR		
Proposal:	Approval of details pursuant to condition 16 (Archaeology) - Part A) (Written Scheme of Investigation) attached to planning permission HGY/2014/0498.		
Application No:	HGY/2020/2599	Officer:	Philip Elliott
Decision:	GTD	Decision Date:	19/02/2021
Location:	Ashley Gardens Ashley Road N17 9LJ		
Proposal:	Approval of details pursuant to condition 32 (green and brown roofs) attached to planning permission HGY/2019/2804 - partial discharge of condition in respect of Building 1A only		
Application No:	HGY/2020/3024	Officer:	Philip Elliott
Decision:	GTD	Decision Date:	19/02/2021
Location:	Berol Yard Ashley Road N17 9LJ		
Proposal:	Approval of details pursuant to condition 56 (PV solar panels) attached to planning permission HGY/2017/2044. Part discharge of condition - Building 4		
Application No:	HGY/2020/3181	Officer:	Philip Elliott
Decision:	GTD	Decision Date:	19/02/2021
Location:	Berol Yard Ashley Road N17 9LJ		
Proposal:	Approval of details pursuant to conditions 59 (Car Parking Management Plan) phase 1 & 2, and 61 (Delivery and Servicing Plan) phase 1 & 2, attached to planning permission HGY/2017/2044		
Application No:	HGY/2020/3236	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	25/01/2021
Location:	Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West Station Road N17		
Proposal:	Application for the approval of details pursuant to condition A23 - Stage 2 (Written Scheme of Investigation - Historic England) in relation to Plot A (North Island site) of the Tottenham Hale Centre redevelopment - planning permission HGY/2020/2223 dated 27 March 2019.		
Application No:	HGY/2020/3259	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	25/01/2021
Location:	Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West Station Road N17		
Proposal:	Application for the approval of details pursuant to conditions A21 (Written Consent for Piling or Other Intrusive Ground Works - Environmental Agency) and A22 (Method of Piling - LBH Environmental Health) in relation to Plot A (North Island site) of the Tottenham Hale Centre, N17 redevelopment - planning permission (HGY/2018/2223) dated 27 March 2019.		
Application No:	HGY/2020/3272	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	01/02/2021
Location:	22-24 Scales Road N17 9HA		
Proposal:	Approval of details pursuant to Condition 15 (a) (Desktop study and Conceptual Model), attached to planning permission HGY/2020/1809.		
Application No:	HGY/2020/3276	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	03/02/2021
Location:	22-24 Scales Road N17 9HA		
Proposal:	Approval of details pursuant to Condition 4 (Method of Construction), attached to planning permission HGY/2020/1809.		

Application No: **HGY/2020/3277** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 01/02/2021
 Location: 22-24 Scales Road N17 9HA
 Proposal: Approval of details pursuant to Condition 5 (Boundary Treatment) attached to planning permission HGY/2020/1809.

Total Applications Decided for Ward: 22

WARD: West Green

FUL Applications Decided: 2

Application No: **HGY/2020/3210** Officer: Emily Whittredge
 Decision: GTD Decision Date: 16/02/2021
 Location: 193 Sirdar Road N22 6QS
 Proposal: Loft conversion with rear dormer and front roof lights, porch roof alteration, new window in rear wall.

Application No: **HGY/2021/0185** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 08/02/2021
 Location: 9 Frome Road N22 6BP
 Proposal: Replacement of single glazed timber windows with double glazed uPVCu windows and replacement of timber doors with matching uPVC.

PNE Applications Decided: 1

Application No: **HGY/2020/3245** Officer: Laina Levassor
 Decision: PN REFUSED Decision Date: 26/01/2021
 Location: 9 Mannock Road N22 6AT
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6m and 4.4m, for which the maximum height would be 4m and for which the height of the eaves would be 2.8m

RES Applications Decided: 1

Application No: **HGY/2021/0082** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 15/02/2021
 Location: 165 West Green Road N15 5EA
 Proposal: Approval of details pursuant to Condition 2 (Refuse, waste storage and recycling facilities) attached to planning permission HGY/2019/2310 allowed on Appeal Ref:APP/Y5420/W/20/3244356.

TEL Applications Decided: 1

Application No: **HGY/2021/0324** Officer: Kwaku Bossman-Gyamera
 Decision: PERM DEV Decision Date: 15/02/2021
 Location: Black Grape Club 268 West Green Road N15 3QR
 Proposal: Formal notification in writing of 28 days notice in advance, in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 (as amended).
 Description of Development: The proposed upgrade consists of the replacement of 2No. existing antennas with 2No. new antennas, internal cabinet works and ancillary works thereto.

Total Applications Decided for Ward: 5

WARD: White Hart Lane

FUL Applications Decided: 1

Application No: **HGY/2020/3108** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 01/02/2021
 Location: 136 Risley Avenue N17 7ER
 Proposal: Single storey rear extension.

RES Applications Decided: 3

Application No: **HGY/2020/3250** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 25/01/2021
 Location: 555 White Hart Lane N17 7RP
 Proposal: Approval of details pursuant to condition 3 (Materials) attached to planning permission HGY/2020/0635.

Application No: **HGY/2020/3251** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 26/01/2021
 Location: 555 White Hart Lane N17 7RP
 Proposal: Approval of details pursuant to condition 9 (Hard and soft landscaping) attached to planning permission HGY/2020/0635.

Application No: **HGY/2020/3257** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 25/01/2021
 Location: 555 White Hart Lane N17 7RP
 Proposal: Approval of details pursuant to condition 24 (Details of site enclosures) attached to planning permission HGY/2020/0635

Total Applications Decided for Ward: 4WARD: **Woodside****ADV Applications Decided: 1**

Application No: **HGY/2020/3170** Officer: Gareth Prosser
 Decision: GTD Decision Date: 29/01/2021
 Location: 262 High Road N22 8JX
 Proposal: Replacement signage and window graphics to advertise the business operating within the premises.

CLUP Applications Decided: 2

Application No: **HGY/2020/2989** Officer: Samuel Uff
 Decision: PERM REQ Decision Date: 09/02/2021
 Location: Ashley House 235-239 High Road N22 8HF
 Proposal: Certificate of lawfulness for proposed fenced off area in front of the site.

Application No: **HGY/2021/0508** Officer: Tobias Finlayson
 Decision: PERM DEV Decision Date: 18/02/2021
 Location: 9 Park View Gardens White Hart Lane N22 5SH
 Proposal: Certificate of lawfulness for proposed development of hip gable and rear dormer roof extensions and insertion of two front rooflights.

FUL Applications Decided: 3

Application No: **HGY/2020/3162** Officer: Sarah Madondo
 Decision: REF Decision Date: 04/02/2021
 Location: 18 Daphne House Acacia Road N22 5RX
 Proposal: Change of use of existing flat 3 bedroom flat into HMO

Application No: **HGY/2020/3194** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 08/02/2021
 Location: Land at the rear of 21 Stuart Crescent N22 5NN
 Proposal: Demolition of existing garage and construction of a single storey dwelling plus basement (AMENDED PLANS)

Application No: **HGY/2021/0072** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 15/02/2021
 Location: 78 Perth Road N22 5QP
 Proposal: Erection of single storey rear extension.

LCD Applications Decided: 1

Application No: **HGY/2020/3012** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 17/02/2021
 Location: Health Centre 276 High Road N22 8JT
 Proposal: Continued use of building to provide mental health services (Use Class D1) with provision of associated training centre, restaurant, and secure residential accommodation use (use classes C2/ C2A) and associated works including external alterations to the building and site, provision of hard and soft landscaping, and provision of cycle parking and refuse storage.

PNE Applications Decided: 1

Application No: **HGY/2020/3260** Officer: Laina Levassor
 Decision: PN REFUSED Decision Date: 26/01/2021
 Location: 44 Stirling Road N22 5BP
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3.2m and for which the height of the eaves would be 3m.

Total Applications Decided for Ward: 8

WARD: **Not Applicable - Outside Borough**

OBS Applications Decided: 3

Application No: **HGY/2021/0177** Officer: Matthew Gunning
 Decision: RNO Decision Date: 25/01/2021
 Location: 91 Durham Road N2 9DR
 Proposal: Single storey side and rear extension. Associated rooflights (Observations to L.B. Barnet - their reference 20/5776/HSE)

Application No: **HGY/2021/0302** Officer: Matthew Gunning
 Decision: RNO Decision Date: 10/02/2021
 Location: Redland Hotel 418 Seven Sisters Road N4 2LX

Proposal: Variation of condition 2 (approved plans) of planning permission ref 2018/3183 dated 30/08/2019. Effect of the variation is amend access arrangements including removal of lift, retention of side stairwell, creation of additional external stair and creation of basement level entrance gate; reduce size of proposed lightwells; reduce area to be excavated below existing building; amend basement flat layout; alterations in fenestration to existing building; resize and reposition cycle storage to front and rear (Observations to L.B. Hackney: their reference: 2020/3460)

Application No: **HGY/2021/0303**

Officer: Matthew Gunning

Decision: RNO

Decision Date: 08/02/2021

Location: First Floor Flat 179 Willoughby Lane N17 0RY

Proposal: Side dormer with side rooflights (Observations to L.B. Enfield - their reference 21/00117/FUL)

Total Applications Decided for Ward: 3

Total Number of Applications Decided: 234

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